

**ITEMS TO BE CONSIDERED
AT THE CAUCUS PRIOR TO THE COUNCIL MEETING
TO BE HELD ON TUESDAY,AUGUST 22, 2023
7:00 P.M.**

I. ROLL CALL OF MEMBERS:

II. PLEDGE OF ALLEGIANCE:

III. DISCUSSION:

1. DEPARTMENT OF LIQUOR CONTROL-ZEMAL LLC 6313 ENGLE RD
BROOK PARK, OH 44142, **C TRFO 9912617 POSTMARK
DATE: 8/28/23.-** PER COUNCIL PRESIDENT VECCHIO.
2. AN ORDINANCE AMENDING ORDINANCE 11323-2023 TO INCLUDE
ELMDALE ROAD AND CYNTHIA DRIVE FROM FRY ROAD TO ROBERT DRIVE
TO THE GENERAL PAVEMENT SERVICES PROGRAM, AND DECLARING AND
EMERGENCY. Introduced by Mayor Orcutt. -PER COUNCIL PRESIDENT
VECCHIO.
3. AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO A COMMUNITY
COST-SHARE AGREEMENT BY AND BETWEEN THE NORTHEAST OHIO
REGIONAL SEWER DISTRICT (NEORS) AND THE CITY OF BROOK PARK,
FOR A WEDO PARK RETENTION BASIN, AND DECLARING AND EMERGENCY.
Introduced by Mayor Orcutt. - PER COUNCIL PRESIDENT VECCHIO.
4. A RESOLUTION AUTHORIZING THE CITY OF BROOK PARK TO SUBMIT AN
APPLICATION TO THE NORTHEAST OHIO AREA COORDINATING AGENCY
(NOACA) FOR ENHANCED MOBILITY OF SENIORS AND INDIVIDUALS WITH
DISABILITIES (SECTION 5310) PROGRAM APPLICATION-STATE FISCAL
YEAR 2023, AND DECLARING AND EMERGENCY. Introduced by Mayor
Orcutt. - PER COUNCIL PRESIDENT VECCHIO.
5. AN ORDINANCE MAKING A WRITTEN RETURN TO THE FISCAL OFFICER OF
CUYAHOGA COUNTY, OHIO, FOR CHARGES FOR THE SERVICES OF THE
CITY OF BROOK PARK, OHIO FOR CUTTING WEEDS ON CERTAIN PARCELS
OF LAND DESCRIBED HEREIN, AND AUTHORIZING SAID CHARGES TO BE
PLACED UPON THE TAX DUPLICATE AND COLLECTED AS OTHER TAXES
PURSUANT TO SECTION 731.54 OF THE OHIO REVISED CODE, AND
DECLARING AND EMERGENCY. Introduced by Mayor Orcutt. - PER COUNCIL
PRESIDENT VECCHIO.

IV. PLANNING COMMITTEE- COUNCILMAN TROYER

1. REQUEST LOT CONSOLIDATION OF PARCEL #'s 343-05-034; 343-05-035; 343-05-036; 343-05-008; 343-05-018 AND 343-05-019 INTO 4.08 AC LOT, AND ALSO CONSOLIDATE PARCEL #'s 343-05-032 AND 343-05-033 INTO A 1.80 AC LOT AT BROOK PARK ROAD & WEST 164TH STREET (ALL ERECTION & CRANE RENTAL)| LOCATED IN THE U-7B ZONING DISTRICT.
2. REQUEST LOT CONSOLIDATION OF 5 LOTS AND THEN SPLIT THEM INTO 10 EQUALLY PROPORTIONED LOTS FOR THE PURPOSE OF BUILDING 5, TWO-FAMILY HOMES AT VL ENGLE ROAD PARCEL #'s 343-13-001; 343-13-013; 343-13-014; 343-13-015, 343-13-181| LOCATED IN THE U1-A3 ZONING DISTRICT.
3. REQUEST A CONDITIONAL USE PERMIT TO CONSTRUCT TWO-FAMILY HOMES I LOCATED IN THE U1-A3 ZONING DISTRICT I ORDINANCE 1121.04.
4. REQUEST APPROVAL FOR A 1.283 ACRES LOT SPLIT, LABELED PARCEL B-1 (SURVEY PROVIDED) AT 14801 HOLLAND ROAD (NORTH PARK RETIREMENT COMMUNITY) FOR THE PURPOSE OF LICENSING AND CONVERTING THE STRUCTURE LOCATED ON THE PROPOSED LOT TO AN ASSISTED LIVING FACILITY | LOCATED IN THE U1-A5 ZONING DISTRICT | ORDINANCE 1101.09.

V. ADJOURNMENT:

Posted 8/18/23

NOTICE TO LEGISLATIVE
AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43068-9005
(614)644-2360 FAX(614)644-3166

TO

9912617			TRFO	ZEMAL LLC
PERMIT NUMBER			TYPE	6313 ENGLE RD
10	01	2022		BROOK PARK OH 44142
ISSUE DATE				
07	11	2023		
FILING DATE				
C1	C2	D6		
PERMIT CLASSES				
18	110	C	F29843	
TAX DISTRICT			RECEIPT NO.	

FROM 07/27/2023

0976874				BROOKPARK SUNOCO INC
PERMIT NUMBER			TYPE	6313 ENGLE RD
10	01	2022		BROOK PARK OHIO 44142
ISSUE DATE				
07	11	2023		
FILING DATE				
C1	C2	D6		
PERMIT CLASSES				
18	110			
TAX DISTRICT			RECEIPT NO.	



MAILED 07/27/2023

RESPONSES MUST BE POSTMARKED NO LATER THAN. 08/28/2023

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES **C TRFO 9912617**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD ☐ IN OUR COUNTY SEAT. ☐ IN COLUMBUS.

WE DO NOT REQUEST A HEARING. ☐

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title) ☐ Clerk of County Commissioner

(Date)

☐ Clerk of City Council

☐ Township Fiscal Officer

CLERK OF BROOK PARK CITY COUNCIL
6161 ENGLE ROAD
BROOK PARK OHIO 44142



201 02/00

CITY OF BROOK PARK, OHIO

ORDINANCE NO. _____

INTRODUCED BY: MAYOR ORCUTT

**AN ORDINANCE AMENDING ORDINANCE 11323-2023
TO INCLUDE ELMDALE ROAD AND CYNTHIA DRIVE FROM FRY ROAD TO
ROBERT DRIVE TO THE GENERAL PAVEMENT SERVICES PROGRAM
AND DECLARING AN EMERGENCY**

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Brook Park, State of Ohio, that:

SECTION 1: The 2023 Equipment and General Pavement Services Program shall be amended to include: Elmdale Road, Cynthia Drive from Fry Road to Robert Drive.

SECTION 2: Any funds left over from asphalt resurfacing will be utilized under the A-3 #1 Misc. Joint Repairs - Municipal Parking Lots - Crack Seal, (Fund 242) .

SECTION 3: It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 4: This Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety of said City, and for the further reason that City Council deems it necessary to amend the 2023 Equipment and General Pavement Services Program to include Elmdale and Cynthia from Fry to Robert, therefore, provided this Ordinance receives the affirmative vote of at least five (5) members elected to Council, it shall take effect and be in force immediately from and after its passage and approval by the Mayor; otherwise, from and after the earliest period allowed by law.

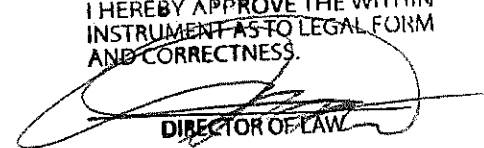
PASSED: _____ PRESIDENT OF COUNCIL

ATTEST: _____ CLERK OF COUNCIL

APPROVED: _____ MAYOR

DATE

I HEREBY APPROVE THE WITHIN
INSTRUMENT AS TO LEGAL FORM
AND CORRECTNESS.


DIRECTOR OF LAW

CITY OF BROOK PARK
2023 ROADS AND
WATERLINE REPLACEMENT
PROGRAM
(COST ESTIMATES)



Asphalt Resurfacing (Fund 240 - \$250,000 and Fund 549 - \$1,170,000) \$1,420,000.00

• Parkland		
• Crestridge		
• Christene		
• Southway	(Edgehurst to Fry)	
• Rademaker	(Delores to Smith)	
• Delores	(Snow to Hummel)	
• Wengler	(Doris to Shelby)	
• Van Wert		
• Starlite		Total
		\$954,891.79
• Elmdale		\$281,230.84
• Cynthia	(Fry to Robert)	\$145,635.84

PROPOSAL



CROSSROADS ASPHALT RECYCLING, INC

13421 HAWKE ROAD
COLUMBIA STATION, OHIO 44028
Phone: 440-236-5066
Fax: 440-236-3506

<u>Quote To:</u>	City of Brook Park	<u>Job Name:</u>	Elmdale Rd.
<u>Attention:</u>	Mr. Brian Beyer		3" Mill, Chip, Pave
			Alternate Partial Depth Repairs
<u>Email:</u>	bbeyer@cityofbrookpark.com	<u>Date:</u>	6-8-2023
		<u>Proposal:</u>	2310035

City of Brook Park
2023 General Pavement Services

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
10	Labor/Equipment/Trucking needed to Mill & Pave	1.00	HRLY	120,875.00	120,875.00
20	Single Chip Seal	7,338.00	SY	2.28	16,730.64
30	Asphalt Intermediate Course	314.00	CY	159.00	49,926.00
40	Asphalt Surface Course	314.00	CY	165.00	51,810.00
50	Tack Coat	734.00	GAL	3.80	2,789.20
60	ALT- Partial Depth Repair (Labor/Equipment/Trucks)	3,400.00	LF	4.75	16,150.00
70	ALT- Partial Depth Asphalt Material	45.00	CY	510.00	22,950.00
80	ALT- Full Depth Repair (Labor/Equipment/Trucks)		HRLY		
90	ALT- Full Depth Asphalt Material		CY		
GRAND TOTAL					\$281,230.84

NOTES:

- *This proposal is a unit price bid.
- *Final field measurements and hours will prevail on unit pricing listed above for final billing.
- *All signage, barricades and traffic control by included.

SCOPE OF WORK-

- *Mill the existing asphalt/concrete pavement to a depth of 3.0" and remove from site.
- *Sweep clean free of all dust and debris.
- *Determine partial depth or full depth repairs.
- *Install single chip seal.
- *Install ODOT #448-1 intermediate asphalt to a compacted thickness of 1.50"
- *Apply ODOT #407 tack coat at a rate of .10 gal/sy.
- *Install ODOT #448-2 surface asphalt to a compacted thickness of 1.50"
- *Gutter seal all curbs and castings with ODOT Type IV sealer.

**NOTE- All repairs are for estimating purposes only and may increase or decrease based on pavement evaluation after milling and/or proof roll.

PROPOSAL



CROSSROADS ASPHALT RECYCLING, INC

13421 HAWKE ROAD
COLUMBIA STATION, OHIO 44028
Phone: 440-236-5066
Fax: 440-236-3506

Quote To: City of Brook Park
Attention: Mr. Brian Beyer
Email: bbeyer@cityofbrookpark.com

Job Name: Cynthia Drive
3" Mill, Chip, Pave
Alternate Full Depth Repairs
Date: 8/14/2023
Proposal: 2310063

City of Brook Park
2023 General Pavement Services

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
10	Labor/Equipment/Trucking needed to Mill & Pave	1.00	HRLY	50,325.00	50,325.00
20	Single Chip Seal	2,128.00	SY	2.28	4,851.84
30	Asphalt Intermediate Course	95.00	CY	159.00	15,105.00
40	Asphalt Surface Course	95.00	CY	165.00	15,675.00
50	Tack Coat	230.00	GAL	3.80	874.00
60	ALT- Partial Depth Repair (Labor/Equipment/Trucks)		LF		
70	ALT- Partial Depth Asphalt Material		CY		
80	ALT- Full Depth Repair (Labor/Equipment/Trucks)	1.00	HRLY	43,395.00	43,395.00
90	ALT- Full Depth Asphalt Material	115.00	CY	134.00	15,410.00
GRAND TOTAL					\$145,635.84

NOTES:

- *This proposal is a unit price bid.
- *Final field measurements and hours will prevail on unit pricing listed above for final billing.
- *All signage, barricades and traffic control by included.

SCOPE OF WORK-

- *Mill the existing asphalt/concrete pavement to a depth of 3.0" and remove from site.
- *Sweep clean free of all dust and debris.
- *Determine partial depth or full depth repairs.
- *Install single chip seal.
- *Install ODOT #448-1 intermediate asphalt to a compacted thickness of 1.50"
- *Apply ODOT #407 tack coat at a rate of .10 gal/sy.
- *Install ODOT #448-2 surface asphalt to a compacted thickness of 1.50"
- *Gutter seal all curbs and castings with ODOT Type IV sealer.

**NOTE- All repairs are for estimating purposes only and may increase or decrease based on pavement evaluation after milling, and/or proof roll.

CITY OF BROOK PARK, OHIO

ORDINANCE NO: _____

INTRODUCED BY: MAYOR ORCUTT

AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO
A COMMUNITY COST-SHARE AGREEMENT BY AND BETWEEN
THE NORTHEAST OHIO REGIONAL SEWER DISTRICT (NEORS)
AND THE CITY OF BROOK PARK, FOR A WEDO PARK RETENTION BASIN, AND
DECLARING AN EMERGENCY

WHEREAS; the City of Brook Park entered into a regional
Stormwater Management Program Service (SMP Service Agreement) as
evidenced by Ordinance No. 10032-2016, passed August 2, 2016 and

WHEREAS, as a component of implementing a regional stormwater
management program a "Community Cost-Share Account" has been
created; and

WHEREAS, the Community Cost-Share Account is to provide
funding to assist the City of Brook Park with the District approved
project; and

WHEREAS, the NEORS will reimburse funds up to \$1,800,000.00
to the City for this Wedo Park Retention Basin.

NOW THEREFORE, BE IT ORDAINED, by the Council of the City of
Brook Park, State of Ohio, that:

SECTION 1: The Mayor is authorized and directed to execute on
behalf of the Municipality a Community Cost-Share project for a
Wedo Park Basin, by and between the Northeast Ohio Regional Sewer
District and the City of Brook Park, set forth in the Agreement
attached hereto as Exhibit "1."

SECTION 2: The money needed for the aforesaid transaction
shall be paid from fund 459.

SECTION 3: It is found and determined that all formal
actions of this Council concerning and relating to the adoption of
this Ordinance were adopted in an open meeting of this Council, and
that all deliberations of this Council and of any of its committees

that resulted in such formal action were in meetings open to the public in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 4: This Ordinance is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of said City, and authorizing the Mayor to enter into an Agreement for a Community Cost-Share for a Wedo Park Retention Basin with Northeast Ohio Regional Sewer District; therefore, provided this ordinance receives the affirmative vote of at least five (5) members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, from and after the earliest period allowed by law.

PASSED: _____

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

APPROVED: _____
MAYOR

DATE

I HEREBY APPROVE THE WITHIN
INSTRUMENT AS TO LEGAL FORM
AND CORRECTNESS.


DIRECTOR OF LAW



**COMMUNITY COST-SHARE AGREEMENT
BY AND BETWEEN
THE NORTHEAST OHIO REGIONAL SEWER DISTRICT
AND
CITY OF BROOK PARK**

This Agreement is made and entered into this _____ day of _____, 2023, by and between the Northeast Ohio Regional Sewer District (District) acting pursuant to Resolution No. 114-13, adopted by the Board of Trustees of the District on May 16, 2013 (Exhibit "A"), and City of Brook Park (City) acting pursuant to Ordinance/Resolution No. _____, adopted on _____, 2023 (Exhibit "B").

Recitals

WHEREAS, the District, as a component of implementing a regional stormwater management program, manages a financial account termed the "*Community Cost-Share Account*" that is for the aggregation and dissemination of funds derived from revenues collected from the Stormwater Fee; and

WHEREAS, the purpose of the Community Cost-Share Account is to provide funding to assist the City with District-approved projects through the Community Cost-Share Program; and

WHEREAS, the Community Cost-Share Program funds are used for construction, operation, and maintenance of the Local Stormwater System or Regional Stormwater System, including administrative costs directly associated with such projects as well as costs related to repair or upgrade; and

WHEREAS, the District supports the Community Cost-Share Wedo Park Retention Basin - Construction project (the "Project") as a Community Cost-Share project proposed by the City; and

NOW THEREFORE, in consideration of the foregoing, the payment and the mutual promises contained in this Agreement, the parties agree as follows:

Article 1.0 City Obligations

- 1.1 The City agrees to perform as follows:
 - 1.1.1 Complete work as detailed in the District approved Community Cost-Share application. (Exhibit "C")
 - 1.1.2 Complete and submit Progress Reports when submitting Request for Payment as needed, or within 30 days of close of the Project, in accordance with the *Community Cost-Share Program Policy*.

- 1.1.3 Notify the City's Watershed Team Leader at least 7 business days prior to the start of the Project.
- 1.1.4 Meet with District staff when requested to review the Project status.
- 1.1.5 Obtain all necessary legal agreements with affected property owners to perform the Project and to bind any successor in title to maintain compliance as specified in this Agreement between the District and City for the Project.
- 1.1.6 Comply with all applicable local, state and federal requirements. This may include, but is not limited to, U.S. Army Corp of Engineers Section 404, Ohio EPA Section 401 water quality certification, and Ohio Department of Natural Resources Dam Safety Laws.
- 1.1.7 If the City fails to maintain the Project in accordance with this Agreement, the City shall be liable for the full amount of any Community Cost-Share Program funds paid for the Project. Such amount shall be offset against the City Community Cost-Share Account.
- 1.1.8 Submit requests for approval to modify the budget, deadline, deliverables, or other components of the Project to the City's Watershed Team Leader at least 30 business days prior to the desired date of execution of the modification.
- 1.1.9 Acknowledge the District on any public advertisement or outreach efforts including all publications and signage related to the Project which shall include the following disclaimer:

This project was funded in part or totally through the Northeast Ohio Regional Sewer District (NEORSD) Community Cost-Share Program in coordination with City, under the provisions of the NEORSD Regional Stormwater Management Program. The contents and views, including any opinions, findings, or conclusions or recommendations, contained in this publication are those of the authors and have not been subject to NEORSD review and may not necessarily reflect the views of NEORSD, and no official endorsement should be inferred.
- 1.1.10 Provide the District the opportunity to have design approval for any signage or public education and outreach efforts related to the Project.
- 1.1.11 Permit the District to photograph the Project and to incorporate the Project into the District's overall public education and outreach efforts for stormwater management.
- 1.2 Failure to meet any of the requirements listed in Article 1.1 may result in termination of this Agreement and reimbursement of disbursed funds to the District.

- 1.3 The City agrees that the City's Community Cost-Share funds will be withdrawn from the City's Community Cost-Share Account over the course of five (5) years upon submittal by the City of the Fund Transfer Request Form. The Community Cost-Share funding will be encumbered and transferred from the City's Community Cost-Share Account in one initial payment of \$800,000.00 and in increments of \$200,000.00 for the following five (5) years.
- 1.1 The City agrees to use the Fund Transfer Request Form (Exhibit "D") to initiate annual fund transfers to the District from the City's Community Cost-Share account.

Article 2.0 **District's Obligations**

- 2.1 The District agrees to perform as follows:
 - 2.1.1 Allocate \$1,800,000.00 to the City for the Project from the City's Community Cost-Share Account.
 - 2.1.2 Provide reimbursement of funds up to \$1,800,000.00 to the City within 60 days of receipt of a complete Fund Transfer Request Form from the City, detailing costs related to the Project.
 - 2.1.3 Timely review and approval or disapproval of requests to modify the budget, deadline, deliverables, or other components of the Project.
 - 2.1.4 Acknowledge the City in presentations or publications related to the Project.
- 2.2 The District is not liable for any and all claims, damages, losses, liens, causes of action, suits, judgments and expenses of any nature, kind or description, that result from and to the extents caused by the acts or omissions of the City, their design professional, and their contractor, including all of their officers, owners, principals, subcontractors, employees, and agents. The District is not responsible for the accuracy, correctness and reliability of the plans as it is not reviewing or approving any plans as to suitability of the design/fitness for a particular purpose.

Article 3.0 **Dispute Resolution**

- 3.1 The Parties shall continue the performance of their obligations under this Agreement notwithstanding the existence of a dispute.
- 3.2 The Parties shall first try to resolve the dispute at the level of the designated representatives as follows:

District Representative	City Representative
Watershed Team Leader	Service Director

If the Parties are unable to resolve the dispute at that level within ten (10) working days, the Parties shall escalate the dispute to the following level to resolve the dispute:

District Representative	City Representative
Director of Watershed Programs	Mayor

- 3.3 If the Parties remain unable to resolve the dispute within an additional ten (10) working days, the Parties shall proceed to mediation upon request by either party. The mediator shall review all documents and written statements, in order to accurately and effectively resolve the dispute. The mediator shall call a meeting between the Parties within ten (10) working days after mediator appointment, which meeting shall be attended by at least the respective representatives listed in paragraph 3.02 above. The Parties shall attempt in good faith to resolve the dispute. The Parties agree to follow the Uniform Mediation Act, Chapter 2710 of the Ohio Revised Code. The Parties shall share the cost of the mediator equally.
- 3.4 Such mediation shall be non-binding between the Parties and, to the extent permitted by law, shall be kept confidential. If the dispute is resolved and settled through the mediation process, the decision will be implemented by a written agreement signed by both Parties. If the dispute is unable to be resolved through mediation, the Parties agree to submit the dispute to the appropriate jurisdiction as per Article 4, Remedies, below.

Article 4 **Remedies**

- 4.1 The Parties agree that, after exhausting the dispute resolution process outlined above, all claims, counter-claims, disputes and other matters in question between the Parties arising out of or relating to this Agreement, or the breach thereof, will be decided at law. This Agreement shall be governed by and interpreted according to the laws of the State of Ohio.

Article 5 **Counterpart Signatures**

- 5.1 This Agreement may be executed in counterparts, each of which shall be deemed to be an original, but which counterparts when taken together shall constitute one Agreement.

Article 6 **Governing Law**

- 6.1 The terms and provisions of this Agreement shall be construed under and governed by the laws of Ohio (to which all Parties hereto consent to venue and jurisdiction).

Article 7 **Disclaimer of Joint Venture**

- 7.1 This Agreement is not intended to create a joint venture, partnership or agency relationship between the Parties, and such joint venture, partnership, or agency relationship is specifically hereby disclaimed.

Article 8 **Authority to Execute**

8.1 Each person executing this Agreement represents and warrants that it is duly authorized to execute this Agreement by the party on whose behalf it is so executing.

Article 9 **Exhibits**

The following exhibits are attached hereto and incorporated herein:

Exhibit "A" – District Resolution;
Exhibit "B" – City Ordinance/Resolution;
Exhibit "C" – District-Approved Community Cost Share Application.
Exhibit "D" - Fund Transfer Request Form

[signatures on the following page]

The parties have executed this Agreement on the day and year first above written.

NORTHEAST OHIO REGIONAL SEWER DISTRICT

BY: _____
Kyle Dreyfuss-Wells
Chief Executive Officer

AND

BY: _____
Darnell Brown, President
Board of Trustees

CITY OF BROOK PARK

By: _____

Title: _____

The Legal Form and Correctness of this
Instrument is hereby Approved:

CITY OF BROOK PARK


~~Assistant~~ Director of Law

This Instrument Prepared By:

Anka M. Davis
Assistant General Counsel
Northeast Ohio Regional Sewer District

Each party agrees that this Agreement may be executed and distributed for signatures via email, and that the emailed signatures affixed by both parties to this Agreement shall have the same legal effect as if such signatures were in their originally written format.

[FOR NEORS D USE]

AGREEMENT NO.

NORTHEAST OHIO REGIONAL SEWER
DISTRICT

WITH

CITY OF BROOK PARK

FOR

COMMUNITY COST-SHARE PROJECT:
WEDO PARK RETENTION BASIN –
CONSTRUCTION

Total Approximate Cost: \$1,800,000.00

The legal form and correctness of the within
instrument are hereby approved.

ERIC J. LUCKAGE
CHIEF LEGAL OFFICER

Date

CERTIFICATION

It is hereby certified that the amount required to
meet the contract, agreement, obligation, payment
or expenditure, for the above, has been lawfully
appropriated or authorized or directed for such
purpose and is in the Treasury or in process of
collection to the credit of the fund free from any
obligation or certification now outstanding.

KENNETH J. DUPLAY
CHIEF FINANCIAL OFFICER

Date

Budget Center 8100

EXHIBIT A

NORTHEAST OHIO REGIONAL SEWER DISTRICT
RESOLUTION NO. 114-13

Authorizing the Executive Director to enter into Regional Stormwater
Management Program Community Cost-Share Program Agreements
with Member Communities.

WHEREAS, the Code of Regulations of the Northeast Ohio Regional Sewer District, Title V – Stormwater Management Code Chapter 9 outlines the Community Cost-Share Program developed to provide funds to District Member Communities for construction, operation and maintenance activities of community-specific stormwater management projects; and

WHEREAS, under the Community Cost-Share Program, 25% of the annual collected stormwater revenue from each Member Community will be held by the District in a Community Cost-Share account, whereby Communities, with review and approval by the District, through specific applications outlining the community-specific stormwater work to be performed can access reimbursement of their funds; and

WHEREAS, the District is seeking authority to enter into Regional Stormwater Management Program Community Cost-Share Program Agreements with Member Communities for the purpose of detailing and memorializing responsibilities of the District and Member Communities under specific applications to the Community Cost-Share Program;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE NORTHEAST OHIO REGIONAL SEWER DISTRICT:

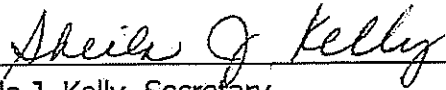
Section 1. That this Board finds that for the reasons stated in the preamble hereof it is in the best interests of the District to enter into Regional Stormwater Management Program Cost-Share Program Agreements with Member Communities to memorialize responsibilities of the District and Member Communities under specific applications to the Community Cost-Share Program.

Section 2. That this Board hereby authorizes the Executive Director to enter into Regional Stormwater Management Program Cost-Share Agreements with Member Communities to memorialize responsibilities of the District and Member Communities under specific applications to the Community Cost-Share Program under such terms and conditions that are satisfactory to the Director of Law and in the best interests of the District.

Section 3. That this Board authorizes the Executive Director to execute all documents and do all things necessary to effect the terms and conditions of the Stormwater Management Program Direct Billing Agreements with Member Communities.

Section 4. That this Board declares that all formal actions of the Board concerning and relating to the adoption of this resolution and that all deliberations of the Board and any of its committees that resulted in said formal action were conducted in meetings open to the public and in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

On motion of Mayor Starr seconded by Mr. O'Malley, the foregoing resolution was unanimously adopted on May 16, 2013.



Sheila J. Kelly, Secretary
Board of Trustees
Northeast Ohio Regional Sewer District

EXHIBIT B

(Insert Member Community
Ordinance/Resolution)

EXHIBIT C



**Community Cost-Share Program
APPLICATION**

Member Community Information

Community:	City of Brook Park
Primary Project Contact: (Name & Title)	Brian Beyer Service Director
Mailing Address:	19065 Holland Road Brook Park, Ohio 44142
Phone Number:	216-433-7192
Email:	bbeyer@cityofbrookpark.com

Project Information

Project Title:	Wedo Park Storm Water Basin
Address or Location of Project:	Wedo Park 0 Shelby Drive
Project Start Date:	August 7, 2023
Project End Date:	April 1, 2024
Community Cost-Share Fund Request:	\$1,800,000.00
Submission Date:	July 6, 2023



Project Narrative

1) Project Summary (1,000 word maximum)

Describe the Project and include the following information, as applicable:

- Describe the Project and deliverables; provide a map if applicable
- Submit a deliverable worksheet listing tasks and deliverables with start dates and end dates for the significant benchmarks.
- List permitting requirements necessary to initiate and complete project and how the requirements will be met.

Final design and construction documents for the proposed storm water basin at Wedo Park (PPN 343-06-126) were completed under a previously authorized Community Cost Share Agreement. This Agreement will reimburse the City for a portion of construction costs associated with the new basin. A map of the area is included at the end of this application.

Deliverables include construction/installation of a new storm water basin at Wedo Park.

Permitting included in this Phase of the Project includes submittal to NEORS via Sages.Gov Portal and an OEPA Construction Site Storm Water Discharge (NOI) permit.



2) Ability to Provide Long Term Maintenance (500 word maximum)

Describe the plans for long-term maintenance, addressing the following question:

- Who is responsible to provide on-going maintenance for the project and how will maintenance be ensured?
- Provide documentation of scheduled maintenance and operation for completed stormwater project(s).

The long term maintenance required for the basin will be the responsibility of the Brook Park Service Department. Maintenance activities include but are not limited to grass cutting and sediment removal as required.

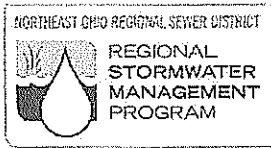


3) Visibility and Public Outreach: (500 word maximum)

Public outreach is required if appropriate for your project.

- What audiences will be exposed to this Project (neighbors, students, community groups, general public)?

Final design of the basin and preparation of construction documents are now complete. City Council has been informed of the status/progress of the Project in reports made at Council Meetings. Copies of the final design calculations and construction documents are available upon request. An informal neighborhood meeting is currently being coordinated to inform the area residents to what to expect during construction. Further public outreach can be provided, as requested by the City Administration. Information regarding the basin has been included in recent publications of the local newsletter which is delivered to over 8,000 households within the City.



*Community Cost-Share Program
Application*

4) Budget Summary (500 words maximum)

The Budget Summary and Project Budget (*see page 3*) represent the Community Cost-Share Project components exclusively. Include details on the provider of all services such as design, engineering, construction management and materials including specific material cost, equipment, and hourly rate.

If an engineer's estimate is included with the application, indicate which line items are included in the Community Cost-Share Project application.

NOI Permit - Ohio EPA = \$200.00
Advertising - Plain Dealer = \$1,331.20
Bidding Phase - Euthenics = \$5,531.06
Const. Admin. - Euthenics = \$48,126.09
Const. Observation - Euthenics = \$52,984.53
Testing - Euthenics = \$7,500.00
Construction Contract - Independence Excavating = \$1,935,716.75
Total = \$2,051,389.63

Anticipated Reimbursements

Initial - \$800,000.00
Year 1 - \$200,000.00
Year 2 - \$200,000.00
Year 3 - \$200,000.00
Year 4 - \$200,000.00
Year 5 - \$200,000.00



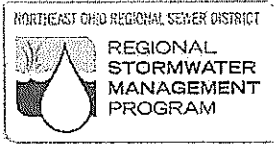
Vendor Registration

Prior to submission, ensure that the Member Community is a registered vendor with the District. Vendor Registration can be done by accessing http://www.neorsd.org/isupplier_homepage.php and completing the New Vendor Registration. If unsure of the Member Community vendor status, by initiating the New Vendor Registration a message of active registration will appear if currently registered as a vendor.

Project Budget

Project Expenses	Community Cost-Share Expense	Line Item Description
Professional Services	\$100,000.00	Construction Admin., Observ., & Testing (Euthenics)
Personnel (Member Community staff only)		
Subcontract	\$1,700,000.00	Construction Contract (Independence Excavating)
Equipment		
Materials		
Other		
TOTAL	\$ 1,800,000.00	

EXHIBIT D



**Community Cost-Share Program
TRANSFER FUNDS TO NORTHEAST OHIO REGIONAL SEWER DISTRICT
REQUEST - COVER SHEET**

Project Information

Member Community: _____

Project Title: _____

Amount to be Transferred to NEORSD: _____

Authorized Signature

I certify that the costs outlined in this reimbursement request have been incurred in accordance with the approved project proposal as set forth in the Community Cost-Share agreement document(s). Furthermore, I affirm that the information contained herein is, to the best of my knowledge and belief, accurate and complete.

Name (print or type): _____

Title: _____

Telephone Number: _____

Email Address: _____

Signature: _____

Date: _____

CITY OF BROOK PARK, OHIO

RESOLUTION NO: _____

INTRODUCED BY: MAYOR ORCUTT

A RESOLUTION

AUTHORIZING THE CITY OF BROOK PARK TO SUBMIT AN APPLICATION TO THE NORTHEAST OHIO AREA COORDINATING AGENCY (NOACA) FOR ENHANCED MOBILITY OF SENIORS AND INDIVIDUALS WITH DISABILITIES (SECTION 5310) PROGRAM APPLICATION-STATE FISCAL YEAR 2023, AND DECLARING AN EMERGENCY

WHEREAS, the City of Brook Park is submitting an application to the Northeast Ohio Areawide Coordinating Agency (NOACA) for Cleveland Urbanized Area Federal Transit Administration (FTA) funding from the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program; and

WHEREAS, NOACA is the designated recipient of the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program for the Cleveland Urbanized Area authorized to make grants to public bodies, private nonprofit organizations, and other eligible entities; and

WHEREAS, the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program provides eighty percent (80%) federal funds for capital projects to support alternatives to public transportation projects that assist seniors and individuals with disabilities, new, or expanded transportation services and alternatives that go beyond the requirements of the Americans with Disabilities Act (ADA) of 1990 for individuals with disabilities; and

WHEREAS, the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program is paid on a reimbursement basis, requiring the applicant to first expend funds then request reimbursement from NOACA, which will, in turn, request the funds from FTA; and

WHEREAS, the applicant certifies it will provide at least twenty percent (20%) local matching funds for capital or planning projects and fifty percent (50%) local matching funds for operating projects from sources other than federal Department of Transportation funds; and

WHEREAS, this project is included in the Coordinated Public Transit-Human Services Transportation Plan for Northeast Ohio; and

WHEREAS, the City of Brook Park agrees to abide by federal requirements as a sub-recipient of FTA funds, including current federal fiscal year Certification and Assurances inclusive of provisions of Title VI of the Civil Rights Act of 1964, and all subsequent annual Certifications and Assurances during the length of the agreement, including federal procurement, maintenance, useful life, disposition standards, and ongoing reporting; and

WHEREAS, the City of Brook Park is authorized to execute a contract with NOACA if selected for the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program.

NOW THEREFORE, BE IT ORDAINED, by the Council of the City of Brook Park, State of Ohio, that:

SECTION 1: Authorization is given to the City of Brook Park to submit this application to NOACA, acting as designated recipient of FTA funds, for the Enhanced Mobility of Seniors and Individuals with Disabilities (Section 5310) Program and to execute a contract with NOACA if selected for funding.

SECTION 2: The money needed for the aforesaid transaction shall be paid by the City from the Capital Improvement Fund #401. The fund will be reimbursed once the grant is closed out.

SECTION 3: It is found and determined that all formal actions of this Council concerning and relating to the adoption of this Resolution were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 4: This Resolution is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of said City, and for the application for request one (1) 2024 Ford Transit 350 10-Passenger High Roof Van with Wheelchair Lift to be operated by the City of Brook Park's Office of Aging, therefore this Resolution shall take effect and be in force immediately from and after its passage and approval by the Mayor.

PASSED: _____

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

APPROVED: _____
MAYOR

DATE

I HEREBY APPROVE THE WITHIN
INSTRUMENT AS TO LEGAL FORM
AND CORRECTNESS.


DIRECTOR OF LAW

CITY OF BROOK PARK, OHIO

Ordinance No. _____

Introduced by: MAYOR ORCUTT

AN ORDINANCE MAKING A WRITTEN RETURN TO THE FISCAL OFFICER OF CUYAHOGA COUNTY, OHIO, FOR CHARGES FOR THE SERVICES OF THE CITY OF BROOK PARK, OHIO FOR CUTTING WEEDS ON CERTAIN PARCELS OF LAND DESCRIBED HEREIN, AND AUTHORIZING SAID CHARGES TO BE PLACED UPON THE TAX DUPLICATE AND COLLECTED AS OTHER TAXES PURSUANT TO SECTION 731.54 OF THE OHIO REVISED CODE, AND DECLARING AN EMERGENCY

WHEREAS, in accordance with upon written information that noxious weeds were growing on the following parcels of land within the City of Brook Park:

PERMANENT PARCEL NO.	LOCATION
344-22-184	Elmdale Rd. & Settlement Acres
343-06-104	16033 Harrison Dr.
344-24-158	13602 Holland Rd.
343-24-029	16001 Holland Rd.
342-10-034	18908 Holland Rd.
344-17-133	6022 Mercer Dr.
344-15-075	5774 Michael Dr.
344-22-088	6060 Middlebrook Blvd.
343-21-235	15604 Rademaker Blvd.
343-30-055	6526 Sandfield Dr.
344-26-032	6401 Schaaf Dr.
343-30-027	15641 Southway Dr.
343-31-098	6330 Stonecrest Dr.
343-03-019/343-03-020	5158 West 147th St.

and that said weeds were about to spread or mature seeds, the Council of the City of Brook Park, Ohio has heretofore authorized the Building Commissioner to notify said owners by written notice that said weeds were to be cut within forty-eight (48) hours after receipt thereof; and

WHEREAS, the Building Commissioner has caused written notices to be sent to the aforesaid property owners by posting a notice on the property and/or by ordinary mail, notifying said owners to cut said weeds; and

WHEREAS, said owners failed to comply with said notices within the time allotted herein and the Council of this City authorized the Service Director to cause said weeds to be cut and destroyed; and

WHEREAS, said weeds were cut by said City on the aforesaid parcels of land; and

WHEREAS, the City expended the sum hereinafter set forth necessary labor and equipment or contracted for cutting and destroying said weeds; and

WHEREAS, the City has complied with the requirements of Section 731.51 to 731.53 of the Ohio Revised Code.

NOW THEREFORE BE IT ORDAINED, by the Council of the City of Brook Park, State of Ohio that:

SECTION 1: That the Director of Finance for the City of Brook Park is hereby authorized to pay the total of the sums of money hereinafter set forth out of funds not otherwise appropriated to cover the cost and expenses of cutting noxious weeds on the parcels and land herein defined.

SECTION 2: That, in accordance with Section 731.54 of the Ohio Revised Code, the Council of the City of Brook Park, Ohio hereby makes and this ordinance shall be considered as its written return to the Fiscal Officer of Cuyahoga County, Ohio, of its actions under Section 731.54 to and including Section 731.53 of the Ohio Revised Code.

SECTION 3: That copies of the statements of charges of the services of the City of Brook Park, and the amounts paid for performing such labor, including overhead, for cutting weeds on the respective parcels of land described herein, are attached hereto, marked Exhibit "A", and considered a part hereof as if rewritten herein.

SECTION 4: That the description of the premises on which said weeds were cut are as heretofore set forth in the preamble hereof, and the respective charges for said services on the following permanent parcels are as follows:

PERMANENT PARCEL NO.	CHARGES
344-22-184	\$900.00
343-06-104	\$900.00
344-24-158	\$900.00
343-24-029	\$1,500.00
342-10-034	\$300.00
344-17-133	\$600.00
344-15-075	\$300.00
344-22-088	\$300.00
343-21-235	\$900.00
343-30-055	\$300.00
344-26-032	\$600.00
343-30-027	\$900.00
343-31-098	\$1,500.00
343-03-019/343-03-020	\$600.00

SECTION 5: That, in accordance with Section 731.54 of the Ohio Revised Code, the Fiscal Officer of Cuyahoga County, Ohio be and is hereby directed to enter the aforesaid charges upon the tax duplicate of the hereinbefore described parcels of land as liens upon said parcels of land, and such items shall be collected as other taxes and returned to the City of Brook Park.

SECTION 6: The Clerk of Council is hereby authorized to furnish a certified copy of this Ordinance to the Fiscal Officer of Cuyahoga County.

SECTION 7: It is found and determined that all formal actions of this Council concerning and relating to this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this

Council and of any of its committees that resulted in such formal actions were in meetings open to the public in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 8: This Ordinance is hereby declared to be an emergency measure immediately necessary for the preservation of the public peace, health, safety and welfare of said City, and for the further reason that it is immediately necessary to certify this amount to the County Fiscal Officer for collection before the deadline for the benefit of the residents of the City of Brook Park; provided that this Ordinance receives the affirmative vote of at least five (5) members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, from and after the earliest period allowed by law.

PASSED: _____

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

APPROVED: _____
MAYOR

DATE

I HEREBY APPROVE THE WITHIN
INSTRUMENT AS TO LEGAL FORM
AND CORRECTNESS.


DIRECTOR OF LAW

EXHIBIT

A

INVOICE # BPV-23-006 DATE: AUGUST 1, 2023ADDRESS: ELMDALE & SETTLEMENT ACRES BROOK PARK, OHIO 44142PARCEL # 344-22-184OWNER INFO: RUTH & CHRISTOPHER WARD 6835 RICHMOND RD TRAILER # 99
GLENWILLOW, OHIO 44139

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 6/14/2023 \$ 300.00DATE: 7/6/2023 \$ 300.00DATE 7/19/2023 \$ 300.00

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

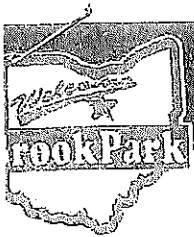
DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 900.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV-22-014

DATE: SEPTEMBER 7, 2022

ADDRESS: 16033 HARRISON BROOK PARK, OHIO 44142

PARCEL # 343-06-104

OWNER INFO: ELLEN R. FRANK 16033 HARRISON
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 8/5/2022 \$ 300.00

DATE: 8/16/2022 \$ 300.00

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV -22-020

DATE: OCTOBER 20, 2022

ADDRESS: 16033 HARRISON BROOK PARK, OHIO 44142

PARCEL # 343-06-104

OWNER INFO: ELLEN R. FRANK 16033 HARRISON
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 9/29/2022 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV -23-001 DATE: AUGUST 1, 2023

ADDRESS: 13602 HOLLAND BROOK PARK, OHIO 44142
PARCEL # 344-24-158
OWNER INFO: MIRANDA ZORINES 13602 HOLLAND
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE <u>6/5/2023</u>	\$ <u>300.00</u>
DATE: <u>6/29/2023</u>	\$ <u>300.00</u>
DATE <u>7/17/2023</u>	\$ <u>300.00</u>
DATE: _____	\$ _____
DATE _____	\$ _____
DATE: _____	\$ _____
DATE: _____	\$ _____
DATE: _____	\$ _____

TOTAL COST: \$ 900.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.

INVOICE # BPV-23-002

DATE: AUGUST 1, 2023

ADDRESS: 16001 HOLLAND BROOK PARK, OHIO 44142PARCEL # 343-24-029OWNER INFO: CAROL BOOTH & MARK BOOTH (SON) 16001 HOLLAND
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE
OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE
DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT
SAID PROPERTY:

DATE 5/8/2023 \$ 300.00DATE: 6/2/2023 \$ 300.00DATE 6/5/2023 \$ 300.00DATE: 6/29/2023 \$ 300.00DATE 7/18/2023 \$ 300.00

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 1500.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-
433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV-22-022

DATE: OCTOBER 20, 2022

R

ADDRESS: 18908 HOLLAND BROOK PARK, OHIO 44142

PARCEL # 342-10-034

OWNER INFO: MICHAEL SMENTANKA 6166 ENGLE ROAD

BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 9/26/2022 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV -23-007

DATE: AUGUST 1, 2023

ADDRESS: 6022 MERCER BROOK PARK, OHIO 44142PARCEL # 344-17-133OWNER INFO: EMIR PROPERTIES 6022 MERCER BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 6/15/2023 \$ 300.00DATE: 7/18/2023 \$ 300.00

DATE _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.

INVOICE # BPV-22-018

DATE: OCTOBER 20, 2022

ADDRESS: 5774 MICHAEL BROOK PARK, OHIO 44142PARCEL # 344-15-075OWNER INFO: MARY CARINGI 5774 MICHAEL DRIVEBROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 9/16/2022 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV-23-008 DATE: AUGUST 1, 2023ADDRESS: 6060 MIDDLEBROOK BROOK PARK, OHIO 44142PARCEL # 344-22-088OWNER INFO: LOUISE S. NIZICH 6060 MIDDLEBROOK BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 7/31/2023 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 - and the address of the property.
If you have any questions, please contact Jason Monaco - Building Commissioner @ 216-433-7412.

INVOICE # BPV-22-012

DATE: SEPTEMBER 7, 2022

ADDRESS: 15604 RADEMAKER BROOK PARK, OHIO 44142PARCEL # 343-21-235OWNER INFO: STANLEY HOBERT 15604 RADEMAKERBROOK PARK OHIO 44142

(6)

marked
9/8/22
12

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 8/5/2022 \$ 300.00DATE: 8/16/2022 \$ 300.00

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV -22-019 DATE: OCTOBER 20, 2022

ADDRESS: 15604 RADEMAKER BROOK PARK, OHIO 44142

PARCEL # 343-21-235

OWNER INFO: STANLEY HOLBERT 15604 RADEMAKER
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 9/26/2022 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV-23-003

DATE: AUGUST 1, 2023

ADDRESS: 6526 SANDFIELD BROOK PARK, OHIO 44142PARCEL # 343-300-55OWNER INFO: TABITHA WITTASEK 6526 SANDFIELDBROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 7/31/2023 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV-22-015

DATE: SEPTEMBER 7, 2022

ADDRESS: 6401 SCHAAF BROOK PARK, OHIO 44142

PARCEL # 344-26-032

OWNER INFO: PANTA GETEIAN 6401 SCHAAF

BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 8/5/2022 \$ 300.00

DATE: 8/18/2022 \$ 300.00

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV-23-004 DATE: AUGUST 1, 2023ADDRESS: 15641 SOUTHWAY BROOK PARK, OHIO 44142PARCEL # 34330027OWNER INFO: ARELENE PARKER 15641 SOUTHWAYBROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 6/2/2023 \$ 300.00DATE: 6/29/2023 \$ 300.00DATE 7/17/2023 \$ 300.00

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 900.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.



City of Brook Park

Edward Orcutt, Mayor

Service Department

INVOICE # BPV-22-016

DATE: SEPTEMBER 7, 2022

ADDRESS: 6330 STONECREST BROOK PARK, OHIO 44142

PARCEL # 343-31-098

OWNER INFO: DOROTHY RAYNAK 6330 STONECREST
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 8/5/2022 \$ 300.00

DATE: 8/18/2022 \$ 300.00

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

INVOICE # BPV-23-005

DATE: AUGUST 1, 2023

ADDRESS: 6330 STONECREST BROOK PARK, OHIO 44142PARCEL # 343-31-098OWNER INFO: DORTHY M. RAYNAK 6330 STONECRESTBROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES THE CITY OF BROOK PARK THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY. LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 6/5/2023 \$ 300.00DATE: 7/19/2023 \$ 300.00

DATE _____ \$ _____

DATE _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

DATE: _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

note on your check/money order Ordinance #1365 – and the address of the property.
If you have any questions, please contact Jason Monaco – Building Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV -22-021

DATE: OCTOBER 20, 2022

ADDRESS: 6330 STONECREST BROOK PARK, OHIO 44142

PARCEL # 343-31-098

OWNER INFO: DOROTHY RAYNAK 6330 STONECREST
BROOK PARK, OHIO 44142

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 9/26/2022 \$ 300.00

DATE: _____ \$ _____

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 300.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.



City of Brook Park

Service Department

Edward Orcutt, Mayor

INVOICE # BPV-22-013

DATE: SEPTEMBER 7, 2022

ADDRESS: 5158 W 147 BROOK PARK, OHIO 44142

PARCEL # 344-03-019/344-03-020

OWNER INFO: FIDELITY LAND TITLE AGENCY OF CINCINNATI, INC

10723 MONTGOMERY ROAD CINCINNATI, OH 45242

ATTENTION: JACKIE L. MCGUIRE

PER SECTION 1365 OF THE CODIFIED ORDINANCES OF THE CITY OF
BROOK PARK, THE OWNER OF THE PROPERTY LISTED ABOVE OWES
THE CITY OF BROOK PARK
THE AMOUNT OF MONEY BELOW FOR MAINTAINING THE PROPERTY.
LISTED ARE THE DATES THAT THE CITY OF BROOK PARK SERVICE
DEPARTMENT RESPONDED AND CUT SAID PROPERTY:

DATE 8/5/2022 \$ 300.00

DATE: 8/16/2022 \$ 300.00

DATE _____ \$ _____

DATE: _____ \$ _____

DATE _____ \$ _____

TOTAL COST: \$ 600.00

Please remit payment to: City of Brook Park
6161 Engle Road
Brook Park, Ohio 44142

***note on your check/money order Ordinance #1365 – and the address
of the property.***

If you have any questions, please contact Neal Dorenkott – Building
Commissioner @ 216-433-7412.

MEMO

TO:	Clerk of Council - Carol Johnson w/Enclosures
CC:	Mayor Edward A. Orcutt Law Director Carol Horvath Council President Mike Vecchio Councilman Tom Troyer Councilman Jim Mencini Councilman Steve Roberts Councilman Rich Scott Council at Large - Rick Salvatore Council at Large - Brian Poindexter Council at Large - Nora Coyne w/out Enclosures
FROM:	Carol Dell, Secretary BZA & Planning Commission Secretary
DATE:	August 14, 2023
RE:	Planning Commission Recommendation

The Brook Park Planning Commission met on August 7, 2023, regarding consolidation of Parcels. By vote of 6-0, the Planning Commission voted to recommend approval of the proposed lot consolidation, for the following:

- A. Request lot consolidation of Parcel #'s 343-05-034; 343-05-035; 343-05-036; 343-05-008; 343-05-018 and 343-05-019 into 4.08 AC lot, and also consolidate Parcel #'s 343-05-032 and 343-05-033 into a 1.80 AC Lot at Brookpark Road & West 164th Street (All Erection & Crane Rental) | Located in the U7-B Zoning District
Planning Commission's recommendation for this project must be forwarded to City Council for final action

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.

See Attached Engineer's comments, Building Commissioner's comments, 2023 Planning Commission Application.

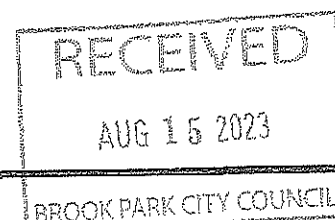
If additional information is required, please feel free to contact me.

AGENT INFORMATION:

Matthew Montecalvo/Independence Construction
E-Mail: mmontecalvo@ind-con.com
Office: 216/524-1700

All Erection & Crane Rental, Property Owner – 7809 Old Rockside Road, Independence, OH 44131

Thank you,
Carol Dell
Secretary, City of Brook Park Planning Commission
Building Department
Office: 216/433-7412
E-Mail: cdell@cityofbrookpark.com



BROOK PARK PLANNING COMMISSION

The Brook Park Planning Commission met on August 7, 2023 regarding consolidation of Parcels. By a vote of 6-0, the Planning Commission voted to recommend approval of the proposed lot split plat for the following:

Request lot consolidation of Parcel #'s 343-05-034; 343-05-035; 343-05-036; 343-05-008; 343-05-018 and 343-05-019 into 4.08 AC Lot, and also consolidate Parcel #'s 343-05-032 and 343-05-033 into a 1.80 AC Lot at Brookpark Road & West 164th Street (All Erection & Crane Rental) | Located in the U7-B Zoning District

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.


Secretary, Planning Commission

8-15-23
Date



CITY OF BROOK PARK

BUILDING DEPARTMENT | 5590 Smith Road | Brook Park | Ohio | 44142

RECEIVED

JUL 21 2023

www.cityofbrookpark.com/building-department

Office 216.433.7412

2023 PLANNING COMMISSION APPLICATION

PROJECT ADDRESS	Brook Park Rd. & West 164th St.	<input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL	ZONE	U7-B
PARCEL #	343-05-008, 018, 019, 032, 033, 034, 035, 036	BUSINESS NAME (If Applicable)	All Erection & Crane Rental	

PROPERTY OWNER NAME(S)	All Erection & Crane Rental			<input type="checkbox"/> Will Attend Meeting
Phone #	216-524-6550	Email	ironmike@allcrane.com	
Street Address	7809 Old Rockside Rd.	City	Independence	Zip 44131
AGENT/CONTACT PERSON NAME(S)	Matthew Montecalvo / Independence Construction			<input checked="" type="checkbox"/> Will Attend Meeting
Phone #	216-524-1700	Email	mmontecalvo@ind-con.com; tschiano@dbohning.com	
Street Address	6400 E. Schaaf Road	City	Independence	Zip 44131

APPROVAL(S) REQUESTED	<input type="checkbox"/> Aesthetic / Project ²	<input type="checkbox"/> Conditional Use Permit ²	
	<input type="checkbox"/> Front Porch	<input type="checkbox"/> Billboard ¹	<input type="checkbox"/> Telecommunication Tower ¹
	<input type="checkbox"/> Re-Zone ³	<input type="checkbox"/> Lot Split ³⁴	<input checked="" type="checkbox"/> Lot Consolidation ³⁴
	<input type="checkbox"/> Other:		
	¹ Provide Construction Drawings and/or Structural calculations ² Provide Detailed Business Plan per City Ordinance 1121.34 ³ Provide Legal Description ⁴ Provide Lot Split / Consolidation Plat and Mylar		
SUMMARY OF REQUEST	Preliminary Approval		

APPLICANT SIGNATURE		<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent	DATE	07/21/2023
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MEMO

TO: Jason Monaco, Building Commissioner

FROM: Edward R. Piatak, P.E., Consulting City Engineer

DATE: July 30, 2023

SUBJECT: All Erection & Crane (Lot Consolidation) – Planning Commission

CC:

Mr. Monaco:

I have reviewed the Planning Commission Application (August 2023 Meeting) for the above referenced project and have offer the following comments:

1. No objections on the Preliminary Lot Consolidation Exhibit.
2. Final Plat to be submitted to Planning Commission for consideration at the appropriate time.

Please advise me if you have any questions or require additional information.

EUTHENICS, INC.

Edward R. Piatak

Edward R. Piatak, P.E.
Consulting City Engineer

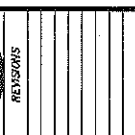
F:\Jobs\187\Misc-Plans\2023 Plan Reviews\01 Planning Commission\08 August\All Erection and Crane Rental - Lot Consolidation\Monaco Memo - 07 30 2023.docx

Building Department Notes

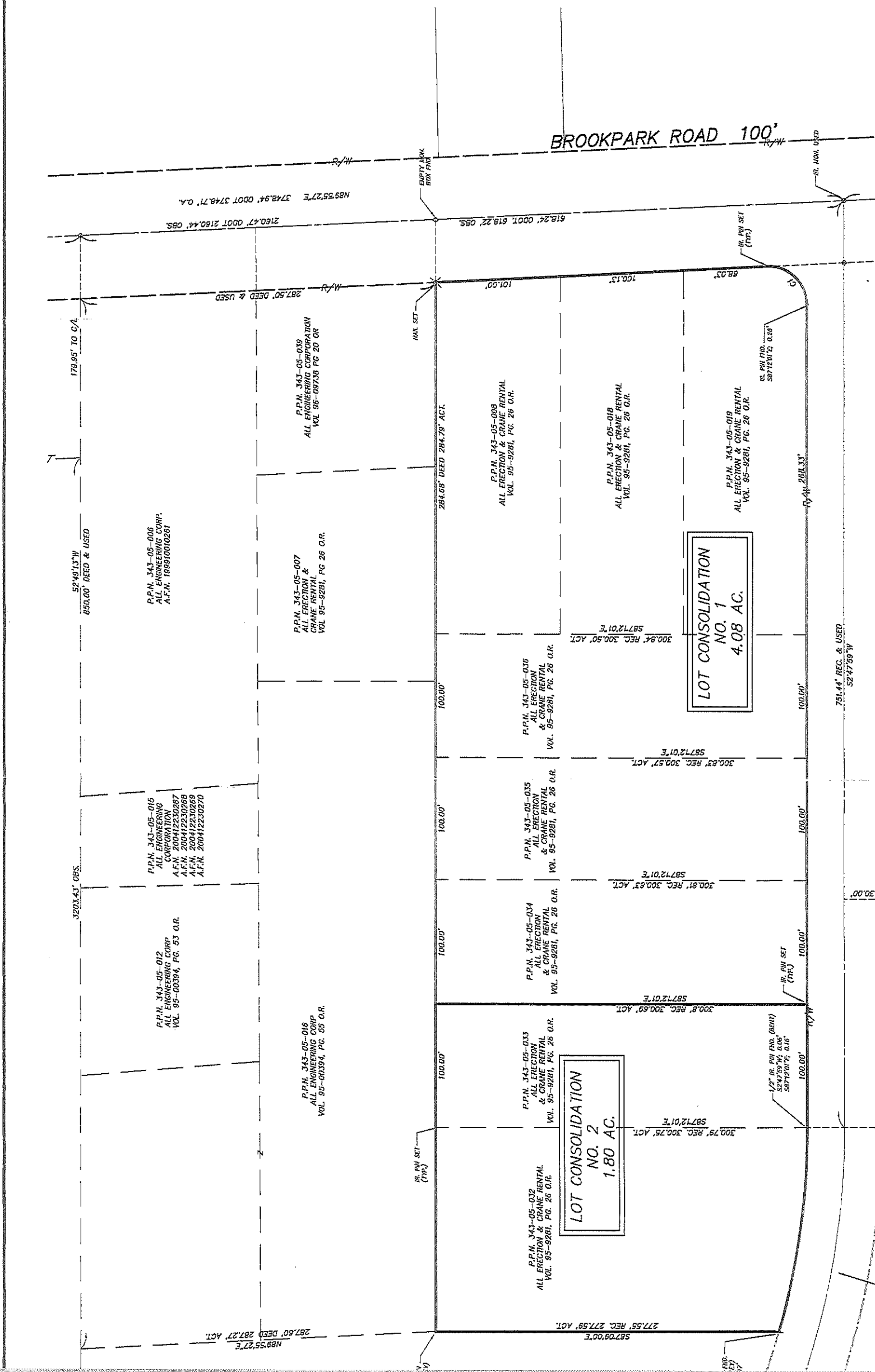
Planning Commission Meeting 8/7/23

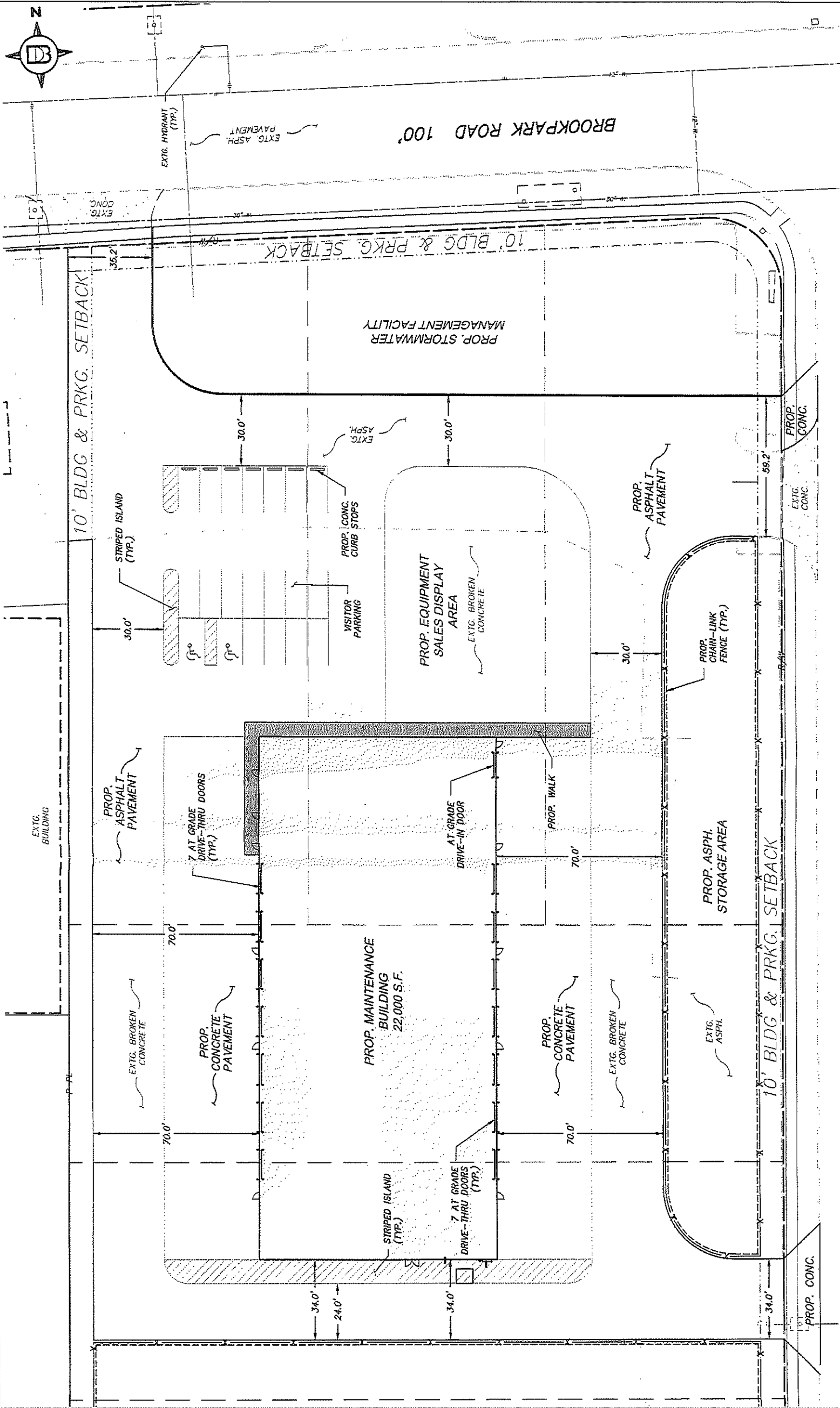
Brookpark Rd. & West 164th St. Parcel #s 343-05-008, 018, 019, 032, 033, 034, 035, 036. – summary of request- The applicant is requesting the consolidation of parcel #s 343-05-034, 035, 036, 008, 018, and 019 into a 4.08 AC. lot, and also consolidate parcel #s 343-05-032 and 343-05-033 into a 1.80 AC lot. The lots are located on the property of All Erection & Crane Rental.

*This application was received on the deadline date without any previous conversation with the applicant, prior knowledge, or receipt of any site plans, drawings, etc. The applicant did their own zoning and Planning research to come up with a list of requested Planning Commission approval requests on their own. A Planning review was not done by the Building Commissioner. The applicant is responsible for acquiring any Planning Commission approvals that may be found at a later date pertinent to this project.



RONALD G. BOHNING & ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING
4815 VALLEY VIEW, CHICAGO, ILL. 60630
PHONE (312) 642-1130 FAX (312) 642-1132
10000 LEXINGTON AVE. SUITE 200, LEXINGTON, MA 01846





MEMO

TO:	Clerk of Council - Carol Johnson w/Enclosures
CC:	Mayor Edward A. Orcutt Law Director Carol Horvath Council President - Mike Vecchio Councilman Tom Troyer Councilman Jim Mencini Councilman Steve Roberts Councilman Rich Scott Council at Large - Rick Salvatore Council at Large - Brian Poindexter Council at Large - Nora Coyne w/out Enclosures
FROM:	Carol Dell, Secretary BZA & Planning Commission Secretary
DATE:	August 14, 2023
RE:	Planning Commission Recommendation

The Brook Park Planning Commission met on August 7, 2023, regarding a lot consolidation of 5 Parcels. By vote of 4-2, the Planning Commission denied the lot consolidation, for the following:

Request lot consolidation of 5 lots and then split them into 10 equally proportioned lots for the purpose of building 5, two-family homes at VL Engle Road Parcel #'s 343-13-001; 343-13-013, 343-13-014, 343-13-015, 343-13-181 | Located in the U1-A3 Zoning District

Planning Commission's recommendation for this project must be forwarded to City Council for final action

AGENT INFORMATION:

Anthony Crea & Stephen Crea with Assad & Crea Realty Group
E-Mail: Anthonyv.crea@assadcrea.com & Stephen.crea@assadcrea.com
Office: 440/888-8181 x 202 & 205

Amato Homes buying from TC Pinnacle Properties, LTD

Thank you,
Carol Dell
Secretary, City of Brook Park Planning Commission
Building Department
Office: 216/433-7412
E-Mail: cdell@cityofbrookpark.com

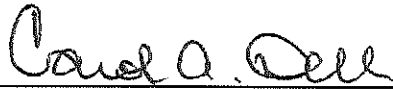


BROOK PARK PLANNING COMMISSION

The Brook Park Planning Commission met on August 7, 2023 regarding a lot consolidation of 5 Parcels. By a vote of 4-2, the Planning Commission denied the lot consolidation for the following:

Request lot consolidation of 5 lots and then split them into 10 equally proportioned lots for the purpose of building 5, two-family homes at VL Engle Road Parcel #'s 343-13-001; 343-13-013; 343-13-014; 343-13-015; 343-13-181 | Located in a U1-A3 Zoning District

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.



Secretary, Planning Commission



Date



CITY OF BROOK PARK

BUILDING DEPARTMENT | 5590 Smith Road | Brook Park | Ohio | 44142

JUL 21 2023

Email | buildingdept@cityofbrookpark.com

Office | 216.433.7412

2023 PLANNING COMMISSION APPLICATION

PROJECT ADDRESS	VL Engle Road	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL	ZONE	U1-A3
PARCEL #	343-13-001,013,014,015,181	BUSINESS NAME (If Applicable)	Amato Homes I, LLC	

PROPERTY OWNER NAME(S)	Amato Homes buying from TC Pinnacle Properties, LTD			<input type="checkbox"/> Will Attend Meeting
Phone #	330-590-2516	Email	franka@myamatohomes.com	
Street Address	7140 Walton Road	City	Walton Hills	Zip 44146
AGENT/CONTACT PERSON NAME(S)	Anthony Crea & Stephen Crea with Assad & Crea Realty Group			<input checked="" type="checkbox"/> Will Attend Meeting
Phone #	440-888-8181 Ext. 202/205	Email	Anthony.crea@assadcrea.com stephen.crea@assadcrea.com	
Street Address	6363 York Road, Suite 101	City	Parma Heights	Zip 44130

APPROVAL(S) REQUESTED	<input type="checkbox"/> Aesthetic / Project ²	<input checked="" type="checkbox"/> Conditional Use Permit ²	
	<input checked="" type="checkbox"/> Front Porch	<input type="checkbox"/> Billboard ¹	<input type="checkbox"/> Telecommunication Tower ¹
	<input type="checkbox"/> Re-Zone ³	<input checked="" type="checkbox"/> Lot Split ^{3,4}	<input checked="" type="checkbox"/> Lot Consolidation ^{3,4}
	<input type="checkbox"/> Other:		
	¹ Provide Construction Drawings and/or Structural calculations ² Provide Detailed Business Plan per City Ordinance 1121.34 ³ Provide Legal Description ⁴ Provide Lot Split / Consolidation Plat and Mylar		
SUMMARY OF REQUEST	This application is for a proposed residential development located on the vacant land at the south east corner of Snow and Engle. We are proposing to build 10 separately parceled residential units that will be constructed as 5 buildings of two attached units each. After consulting with the building commissioner to accomplish this we will need a conditional use permit to allow two family structures to be built in the U1-A3 district, a lot consolidation and split, as well as approval for front porches on the proposed units as shown in the attached plans.		

APPLICANT SIGNATURE		<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent	DATE	7/21/23
---------------------	--	--	------	---------



CONTRACTOR AND CLIENT SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE PLANS, THE CLIENT AND CONTRACTOR AGREE TO UNDERSTAND THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

1305 - Duplex
Cover Sheet

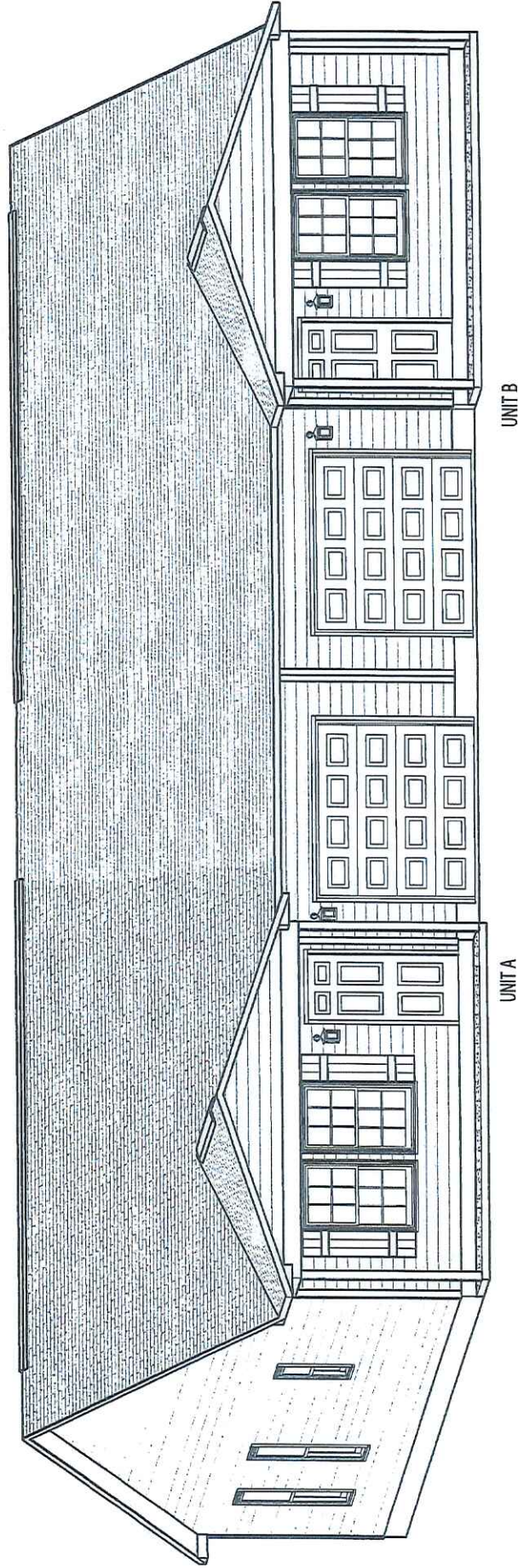
Lot #:

Job #:
Address:

Community:

Last Revision Date:
7-17-23

Sheet #:
Pg0



1 Drone - Front Elevation

Area Schedule (each unit)		
Name		Area
Heated	1st Floor	1305 SF
		1305 SF
Unheated	Covered Porch	64 SF
	Garage	251 SF
	Under Roof	315 SF
		1620 SF

Sheet List	
Sheet Number	Sheet Name
Pg0 Cover Sheet	
Pg1 Front & Rear Elevations	
Pg2 Side Elevations	
Pg3 Slab Penetrations	
Pg4 1st Floor Plan	
Pg5 Roof Plan	
Pg6 Electrical & Flooring Plan	
Pg D 1 Details	
Pg SK 1 1 HR Wall Detail	



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION. THESE DRAWINGS FOR CONSTRUCTION ARE NOT A GUARANTEE OF CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

1305 - Duplex Front & Rear Elevations

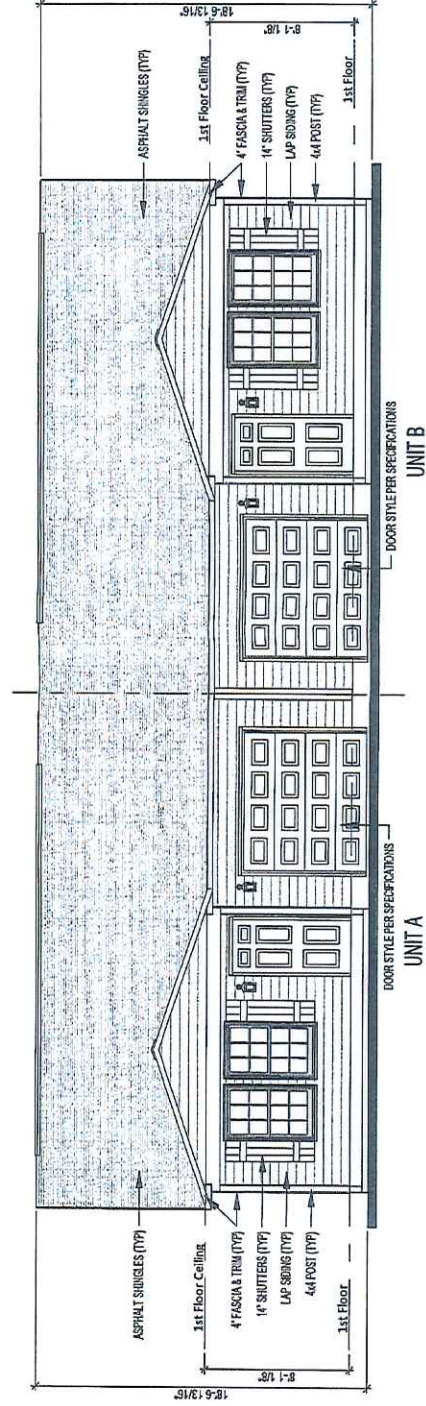
Lot #:

Job #:
Address:
Community:

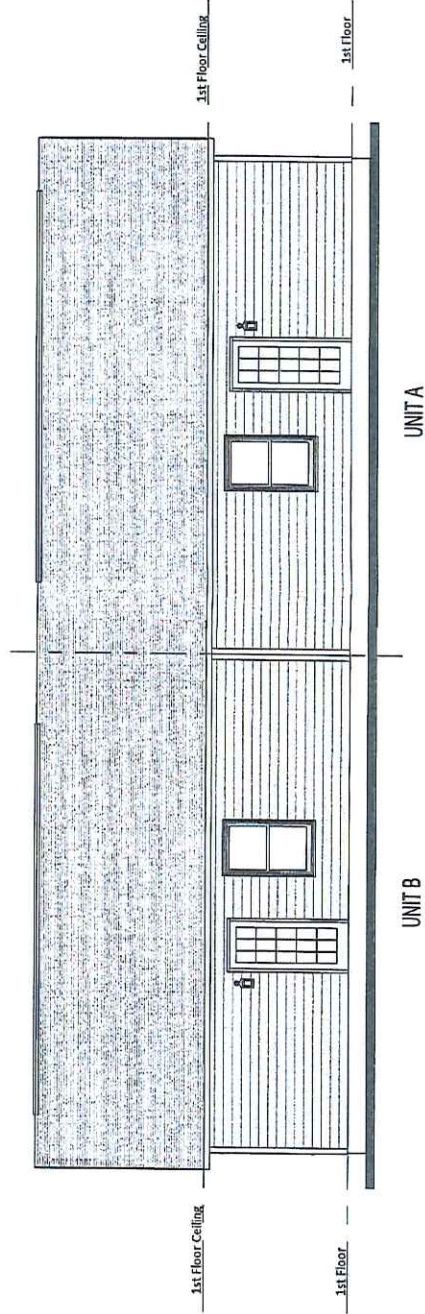
Last Revision Date:
7-17-23

Sheet #:
Pg1

2019 RESIDENTIAL OHIO CODE
ENERGY EFFICIENT COMPLIANCE - OHBA COMPLIANCE PATH #1
(SECTION 1112 - INCLUDING ALL MANDATORY ITEMS)
• CEILING - R-19
• EXTERIOR SUEWALLS - R-15
• RIM JOISTS - R-13
• FLOOR OVER UNHEATED SPACES - R-30
• FOUNDATION WALLS - R-10 minimum 4 FT. DOWN (ALL WALLS)
• WINDOWS 32 U VALUE



① Front Elevations
1/8" = 1'-0"



② Rear Elevations
1/8" = 1'-0"



CONTRACTOR AND OWNER SHALL REVIEW
DRAWINGS FOR CONFORMANCE WITH
ALL CITY ORDINANCES AND ALL
APPLICABLE CODES. IT IS THE
RESPONSIBILITY OF THE OWNER
AT THE TIME OF CONSTRUCTION, BY USING THESE
DRAWINGS FOR CONSTRUCTION IT IS
UNDERSTOOD THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE OWNER AND CONTRACTOR.

1305 - Duplex Side Elevations

Job #:

Address:

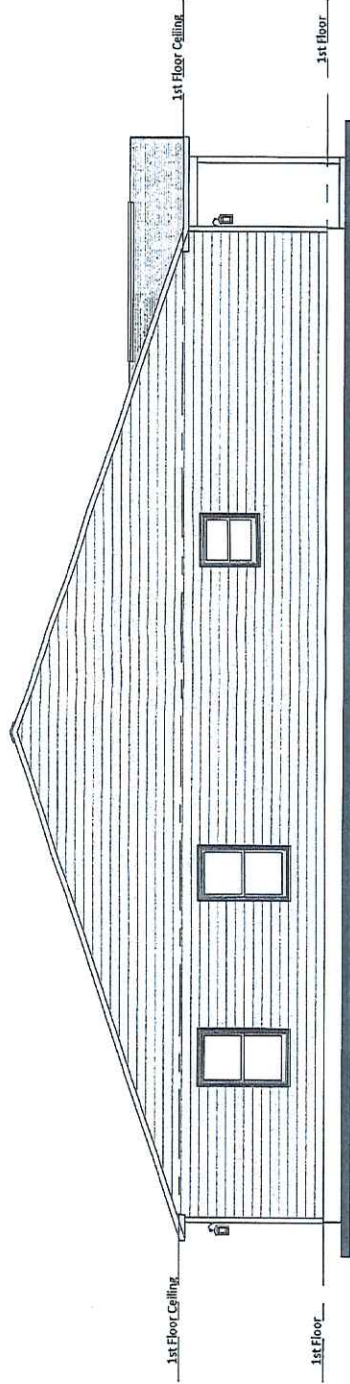
Community:

Last Revision Date:

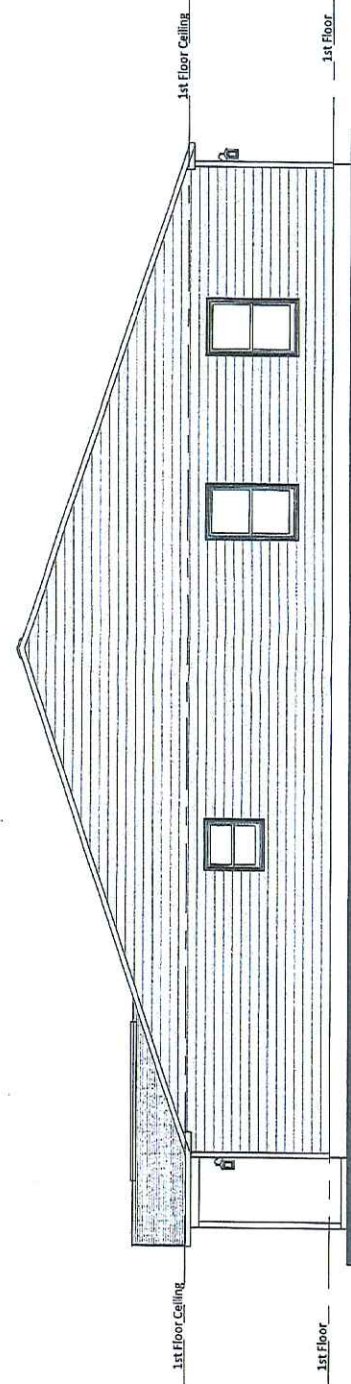
7-17-23

Sheet #:

Pg2



① Left Elevation - Unit A
1/8" = 1'-0"



② Right Elevation - Unit B
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL VERIFY
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF CONSTRUCTION. BY USING THESE
PLANS, THE CONTRACTOR AND BUILDER
UNDERSTAND THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE BUILDER AND CONTRACTOR.

1305 - Duplex Slab Penetrations

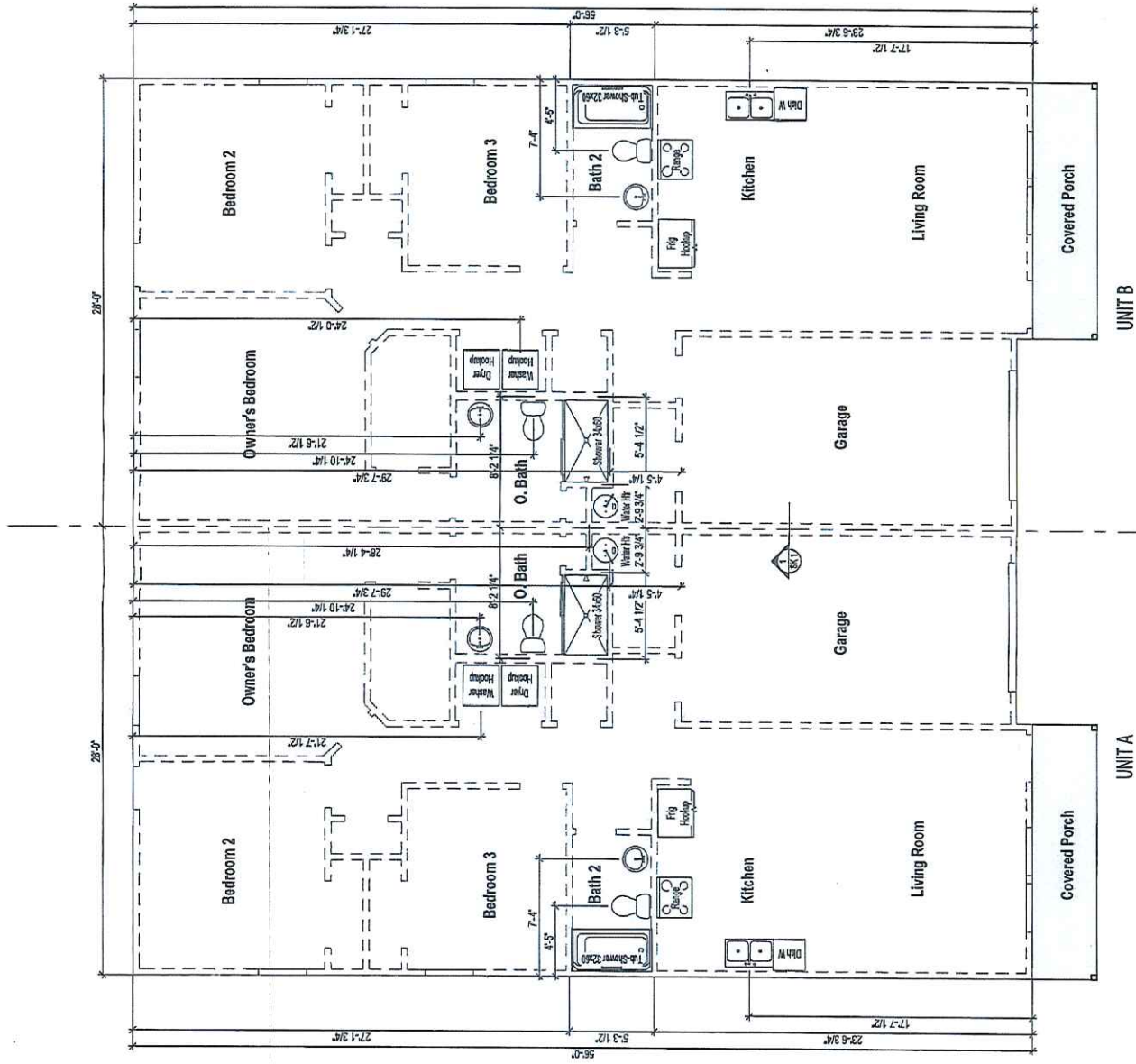
Lot #:

Job #:
Address:


Community:

Last Revision Date:
7-17-23

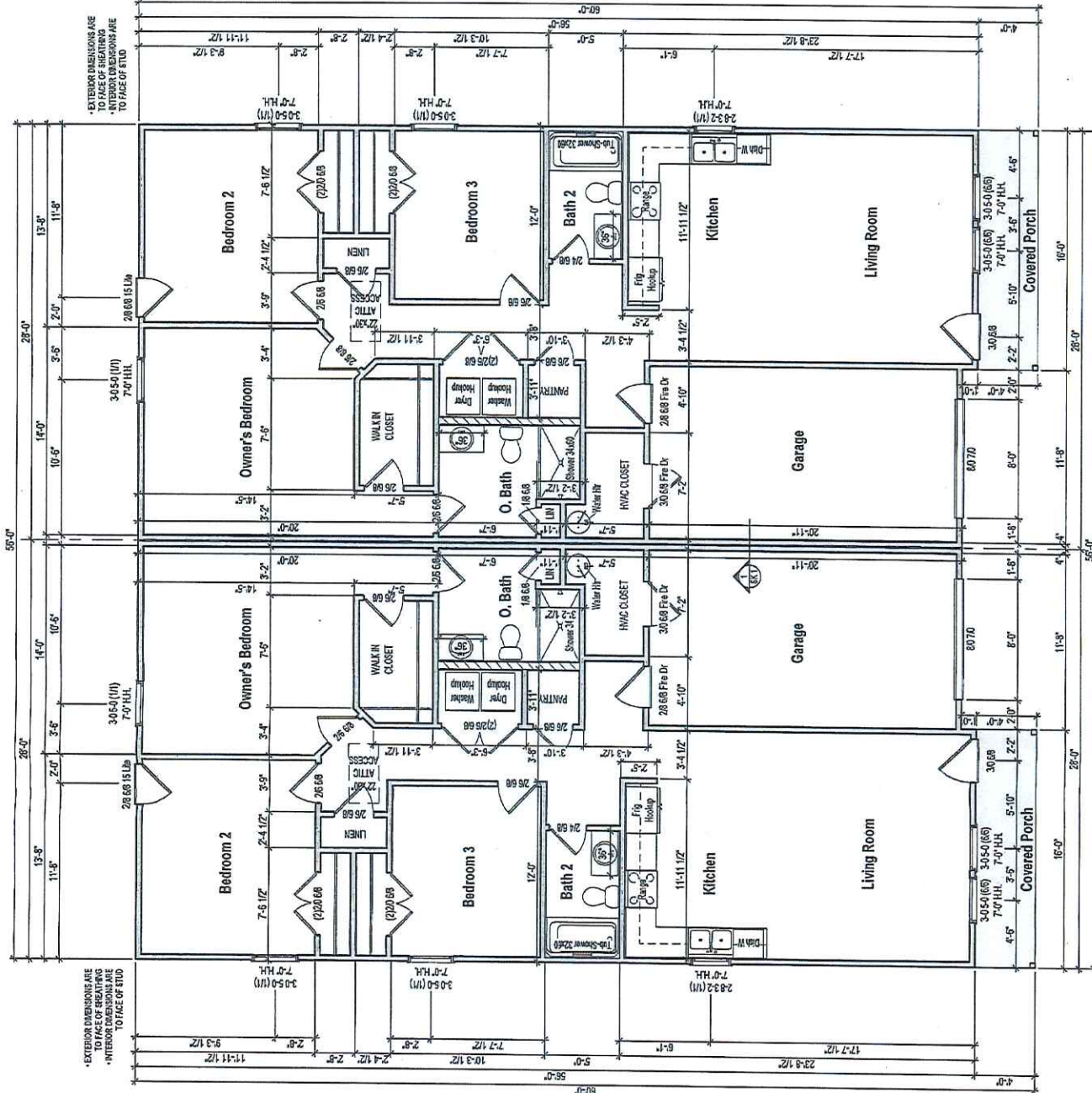
Sheet #:
Pg3



1 Slab Penetrations
1/8" = 1'-0"

Wall Stud Size
 = 2x4
 = 2x6

WINDOWS						
TAG	MANUFACTURER	MODEL	TYPE	R.O. WIDTH	R.O. HEIGHT	COLOR
243-52	WIND. RAFT	ENCOMPASS	DOUBLE HING	24"	38"	WHITE
243-52	WIND. RAFT	ENCOMPASS	DOUBLE HING	32"	38"	WHITE
3245-9	WIND. RAFT	ENCOMPASS	DOUBLE HING	35"	60"	WHITE
(2245-6)	WIND. RAFT	ENCOMPASS	DOUBLE HING	72"	60"	WHITE



CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

1305 - Duplex

207

Job #:
Address:
Community:

Last Revision Date:

Sheet #: Pg4

Attic Ventilation Calcs (each unit) 1/300 (sq.in.)									
Name	Area	Ventilation Required (sq.in.)	Max Upper Vent (sq.in.)	Min Upper Vent (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (sq.in.)	Roof Vents (ea)
Main Roof	1558 SF	747	698	373	465	286	753	31	0
Soffit Vents (eq.ft.)									48

CALCS BASED ON THE FOLLOWING VALUES:
 • Ridge Vents = 15 sq.ft. of net free area per linear foot
 • Roof Vents = 50 sq.ft. of net free area per unit
 • Soffit Vents = 6 sq.ft. of net free area per square foot



CONTRACTOR AND OWNER SHALL REVIEW
 ENTIRE PLAN TO VERIFY CONFORMANCE WITH
 ALL CITY ORDINANCES AND ALL APPLICABLE
 CODES. THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR VERIFYING THE ACCURACY OF ALL
 DIMENSIONS AND CONDITIONS SHOWN ON
 THESE DRAWINGS FOR CONSTRUCTION. IT IS
 UNDERSTOOD THAT CONFORMANCE WITH ALL
 APPLICABLE ORDINANCES AND CODES IS THE
 RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

1305 - Duplex

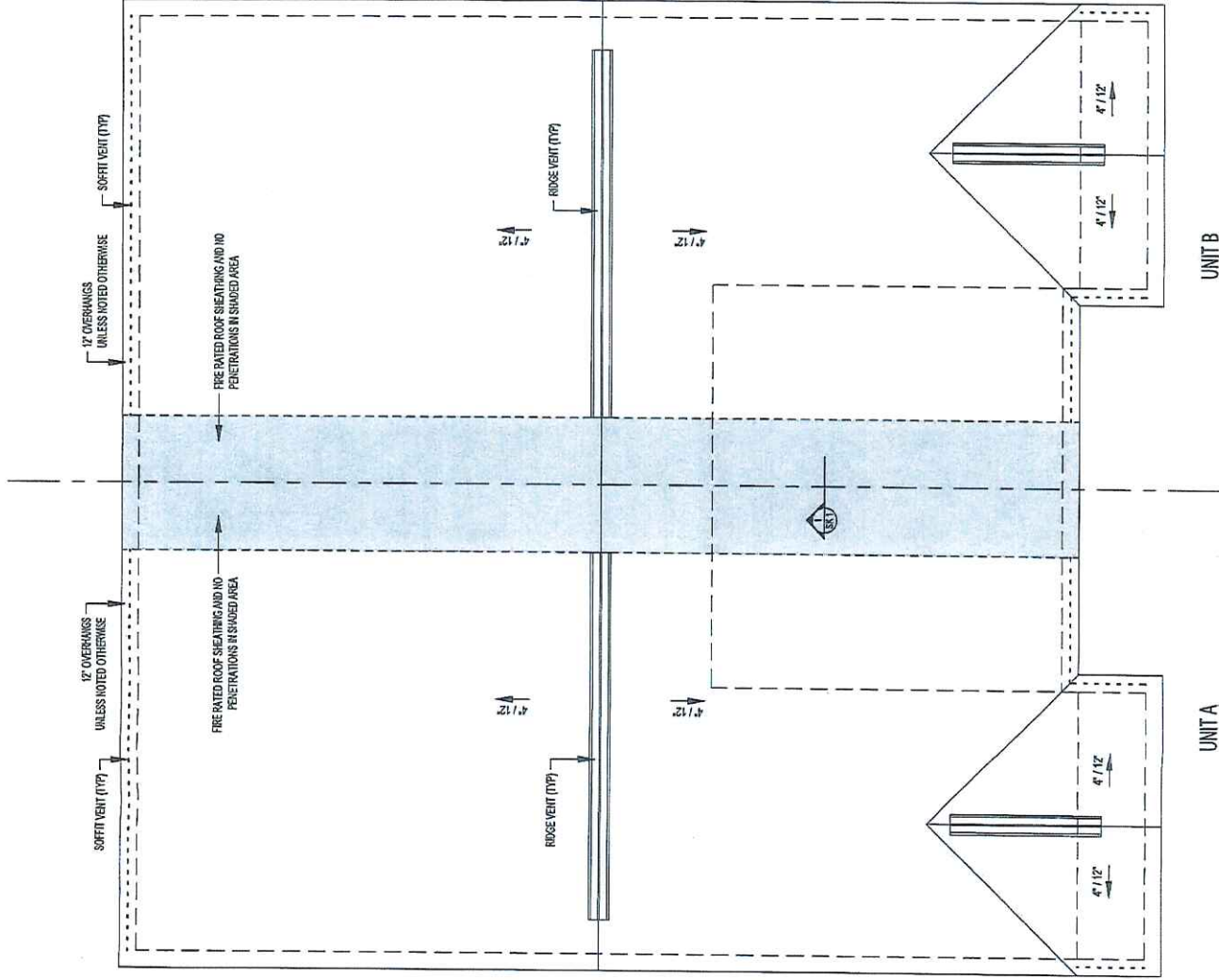
Roof Plan

Lot #:

Job #:
 Address:
 Community:

Last Revision Date:
 7-17-23

Sheet #:
 Pg5



1 Roof Plans
 1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW THIS PLAN TO VERIFY CONFORMANCE WITH ALL CITY, COUNTY AND STATE REQUIREMENTS AT THE TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL CITY, COUNTY AND STATE REQUIREMENTS IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

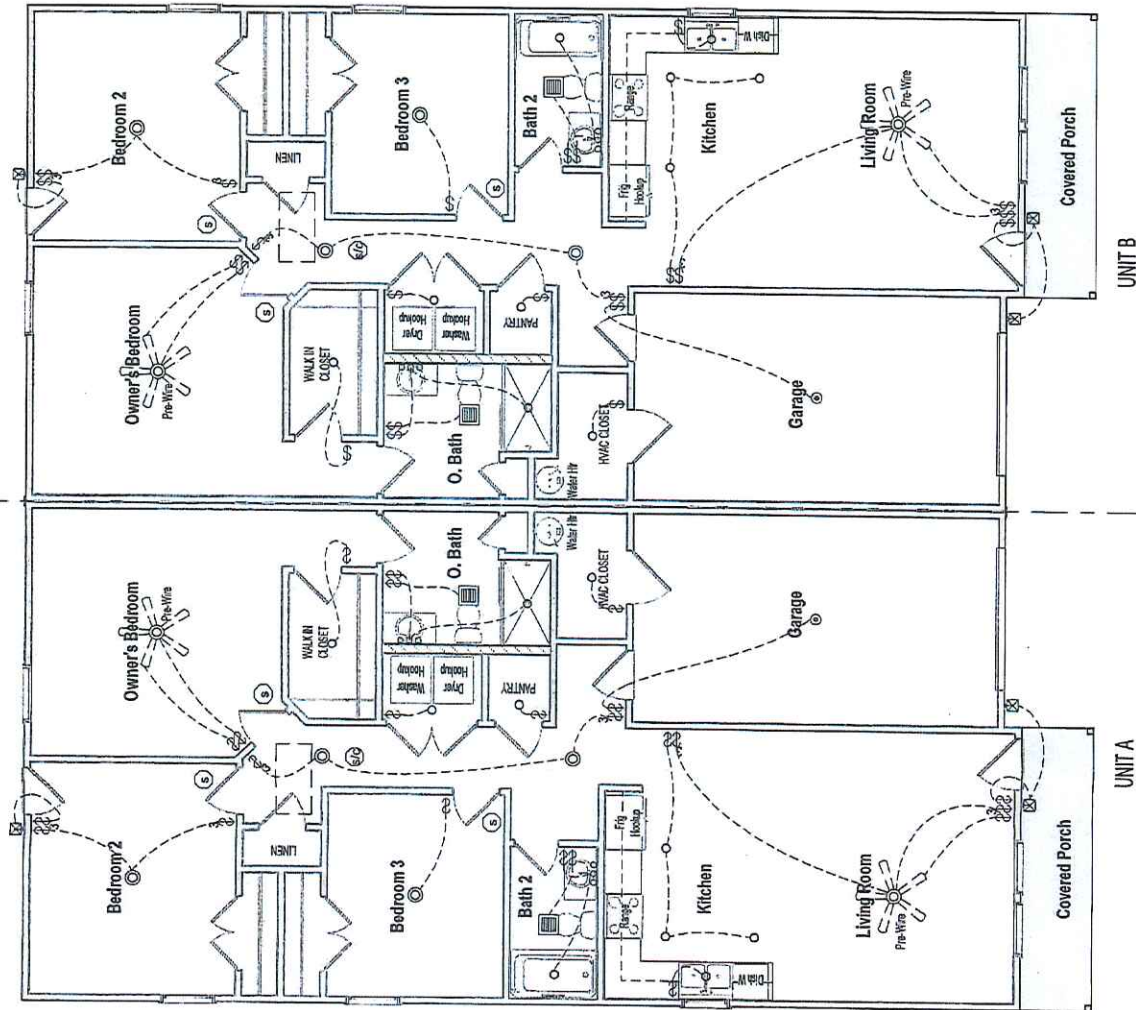
1305 - Duplex Electrical & Flooring Plan

Lot #:

Job #:
Address:
Community:

Last Revision Date:
7-17-23

Sheet #:
Pg6



1 1st Floor Electrical
1/8" = 1'-0"

ELECTRICAL LEGEND				
WALL MOUNTED FIXTURES		CEILING MOUNTED FIXTURES		
OUTLET - 110V	OUTLET - TV	GARAGE DOOR OPENER RECEIVER	KEYLESS	SMOKE DETECTOR
OUTLET - 110V GROUND FAULT INTERRUPTER	OUTLET - PHONE	15 AMP LIGHT BAR	FLUSH MOUNT	SMOKE DETECTOR DROD
OUTLET - 110V GROUND FAULT INTERRUPTER WATERPROOF	SWITCH - SINGLE POLE	CORCH LIGHT - FRONT DOOR	SURFACE CANDLE	BATHROOM EXHAUST FAN
OUTLET - 220V	SWITCH - 3-WAY	CORCH LIGHT - REAR DOOR	FLUSH MOUNT W/ FAN PREWIRE	FLUORESCENT 4'-2 LAMP FLUORESCENT 2'-1 LAMP
	SWITCH - 4-WAY			

Outlets shown on the electrical layout are in addition to the outlets that shall be provided in accordance with International Residential Code Sections E3901.2 through E3901.11.



CONTRACTOR AND SUBMITTER SHALL REVIEW
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF CONSTRUCTION. BY USING THESE
DETAILS, THE CONTRACTOR AND SUBMITTER
UNDERSTAND THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE BUILDER AND CONTRACTOR.

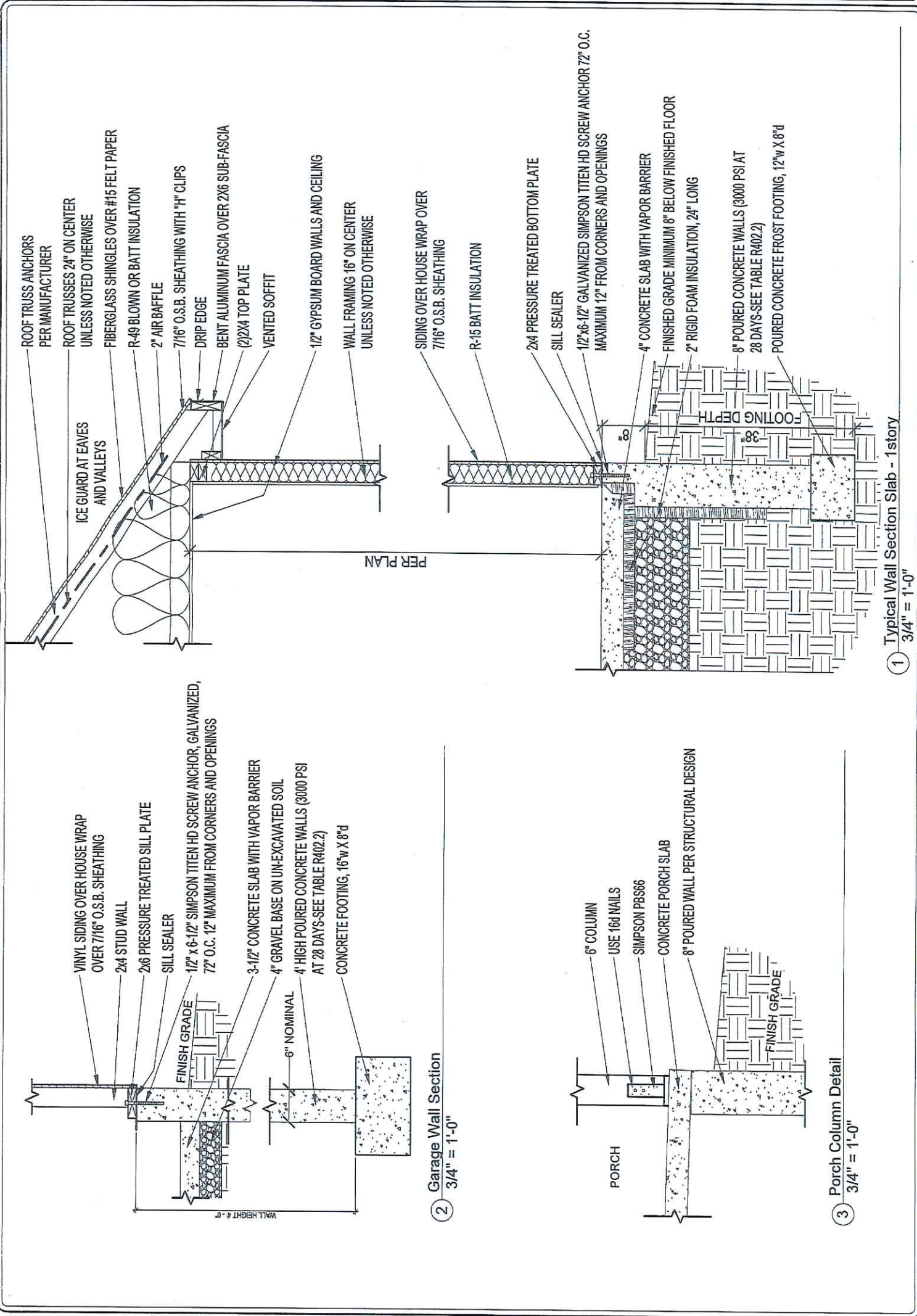
1305 - Duplex Details

Lot #:

Address:
Community:

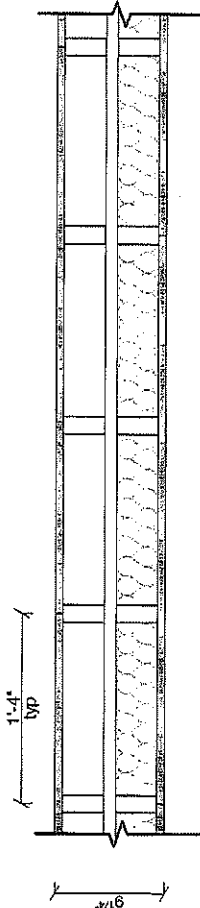
Last Revision Date:
7-17-23

Sheet #:
Pg D 1



Design No. GA WP 3370

FIRE RATING: 1 HOUR
STC RATING: 53
SOUND TEST: USG-171021
LOCATION: INTERIOR
FRAMING TYPE: WOOD STUDS

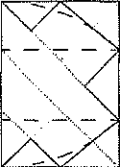


Design No. GA WP 3370

- ASSEMBLY REQUIREMENTS:
- GYPSUM PANELS: ONE LAYER 5/8" TYPE SCX
 - WOOD STUDS: 2X4 NOMINAL WOOD STUDS@ 16" OC
 - AIR SPACE: 1"
 - WOOD STUDS: 2X4 NOMINAL WOOD STUDS@ 16" OC
 - INSULATION: 3 1/2" FIBERGLASS BATT INSULATION
 - GYPSUM PANELS: ONE LAYER 5/8" TYPE SCX

General Wall Notes

1. Refer to applicable codes requirements to ensure compliance prior to construction.
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3. Where design no. indicates "per" the fire rating is based on laboratory test data of the referenced similarly constructed assemblies.
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5. Stud and fastener spacings are maximum unless otherwise stated in the published assembly.
6. Panel orientation shall be as specified in the published design.
7. Fire ratings are from both sides unless otherwise stated.
8. Fire ratings are maintained with one or more of the following modifications: increase stud depth, increase stud material thickness, decrease stud spacing, decrease fastener spacing, increase insulation thickness up to cavity depth.
9. Where acoustical performance is provided in an estimated range, the values are based in laboratory test data of similarly constructed assemblies.
10. Sound ratings are maintained with one or more of the following modifications: increase stud depth, decrease stud material thickness, increase stud spacing, increase fastener spacing, increase insulation thickness up to cavity depth. Modifications must not exceed limitation of fire rating.



RWS Architectural
Consulting
5365 W Loveland Rd. Madison,
OH 44057
(216) 401-3830
rwshearer@gmail.com

Drawings and Specifications are
intended to be used as a guide
and are not to be construed as
warranties or guarantees.

The General Contractor is responsible for
confirming and correlating dimensions at
the job site. The Architect will not be
responsible for construction means,
methods, techniques, sequences, or
procedures, or for safety precautions
and programs in connection with the
project.

© RWS Architectural Consulting, LLC



ROBERT W. SHEARER
OHIO ARCHITECT #13317
LICENSE EXPIRES 12/31/22

Revisions:	DATE	ISSUED FOR
MARK		

Client:	Amato Homes
Project Name:	605&609 BELLE COURT
Drawing:	1 HR Wall Detail
Scale:	1" = 1'-0"
Phase:	
#Project Status	
Sheet Number:	SK.1
Project Number:	
Sheet Size:	11" x 17"

MEMO

TO: Jason Monaco, Building Commissioner

FROM: Edward R. Piatak, P.E., Consulting City Engineer

DATE: July 29, 2023

SUBJECT: VL Engle Road (Residential Development) – Planning Commission

CC:

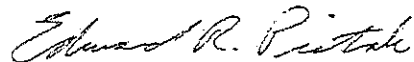
Mr. Monaco:

I have reviewed the Planning Commission Application (August 2023 Meeting) for the above referenced project and have offer the following comments:

1. *Conditional Use Permit:* With duplex units on separate/individual sublots, how do maintenance responsibilities get assigned for common or shared features (such as roofs and driveways) to the owners of each Unit (Covenants, HOA, Deed Restrictions....)?
2. *Lot Split/Lot Consolidation:* "Exhibit" included in the Application is conceptual in nature. A final Plat should be submitted to the Planning Commission for consideration at the appropriate time.
3. *Front Porch:* No objections to proposed units having a front porch.
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5. The existing concrete median in Engle Road restricts southbound access to/from the proposed residential units.
6. Overall project is subject to change based upon a full Civil/Site submittal and subsequent review by my Office.

Please advise me if you have any questions or require additional information.

EUTHENICS, INC.



Edward R. Piatak, P.E.
Consulting City Engineer

F:\Jobs\187\Misc-Plans\2023 Plan Reviews\01 Planning Commission\08 August\VL Engle Rd - Residential Dev\Monaco Memo - 07 29 2023.docx

Building Department Notes
Planning Commission Meeting 8/7/23

VL Engle Rd. – Parcel #'s 343-13-001, 013, 014, 015, 181. – summary of request(s) – The applicant is proposing to consolidate 5 lots and then split them into 10 equally proportioned lots for the purpose of building 5, two family homes on them. The County is requesting each unit sit on its own parcel. The following approvals are being requested from the Planning Commission.

- A. A Conditional Use Permit is needed to construct a 2 family house in the U1-A3 district. Ord. 1121.04 states that only single family homes can be built in a U1 district.
- B. Approval for the consolidation of 5 lots into one parcel and the splitting of that parcel into 10 proportioned lots for the construction of 5 two family residences is being requested.
- C. Aesthetic approval is being requested for 10 front porches of the proposed new construction 2 family homes on Engle Rd. by Amato Homes. Ord. 1348.01 states that all front porches shall receive Planning Commission approval prior to construction.

1121.04 LISTING OF PERMITTED USES FOR EACH USE DISTRICT.

For the purposes of this Zoning Ordinance, the various permitted uses of buildings and premises within and for each of the Use Districts are divided into groups, classes and subdivisions, and are hereby adopted for each Use District as follows:

(a) Class U-1 Uses - Single-Family House District:

- (1) Single-family dwellings.

1348.01 FRONT PORCHES.

- (1) Planning Commission approval. All construction plans for front porches must come before the Planning Commission for aesthetic approval prior to receiving a permit.

MEMO

TO:	Clerk of Council - Carol Johnson
CC:	Mayor Edward A. Orcutt Law Director Carol Horvath Council President Mike Vecchio Councilman Tom Troyer Councilman Jim Mencini Councilman - Steve Roberts Councilman - Rich Scott Council at Large - Rick Salvatore Council at Large - Brian Poindexter Council at Large - Nora Coyne w/out Enclosures
FROM:	Carol Dell, Secretary BZA & Planning Commission Secretary
DATE:	August 14, 2023
RE:	Planning Commission Recommendation

The Brook Park Planning Commission met on August 7, 2023, regarding approval for a Conditional Use Permit. By a vote of 4-0, with 2 abstentions, the Planning Commission voted to deny the following:

Request a Conditional Use Permit to construct two-family homes | Located in the U1-A3 Zoning District | Ordinance 1121.04
Planning Commission's recommendation for this project must be forwarded to City Council for final action

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.

See Attached Engineer's Comments & 2023 Planning Commission Application.

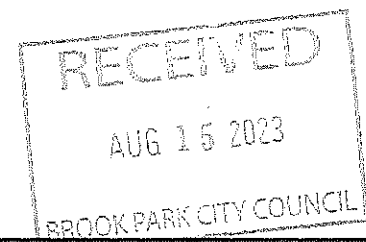
If additional information is required, please feel free to contact me.

AGENT INFORMATION:

Anthony Crea & Stephen Crea with Assad & Crea Realty Group
E-Mail: Anthony.crea@assadcrea.com & Stephen.crea@assadcrea.com
Office: 440/888-8181 x 202 & 205

Amato Homes buying from TC Pinnacle Properties, LTD, Property Owner – 7140 Walton Road, Walton Hills, OH

Thank you,
Carol Dell
Secretary, City of Brook Park Planning Commission
Building Department
Office: 216/433-7412
E-Mail: cdell@cityofbrookpark.com




BROOK PARK PLANNING COMMISSION

The Brook Park Planning Commission met on August 7, 2023 regarding the request for approval of a Conditional Use Permit. By vote of 4-0, with 2 abstentions, the Planning Commission voted to deny the proposed Conditional Use Permit for the following:

Request a Conditional Use Permit to construct two-family homes | Located in the U1-A3 Zoning District | Ordinance 1121.04

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.


Secretary, Planning Commission


Date



CITY OF BROOK PARK

BUILDING DEPARTMENT | 5590 Smith Road | Brook Park | Ohio | 44142

RECEIVED

| Email | buildingdept@cityofbrookpark.co

| Office | 216.433.7412


2023 PLANNING COMMISSION APPLICATION

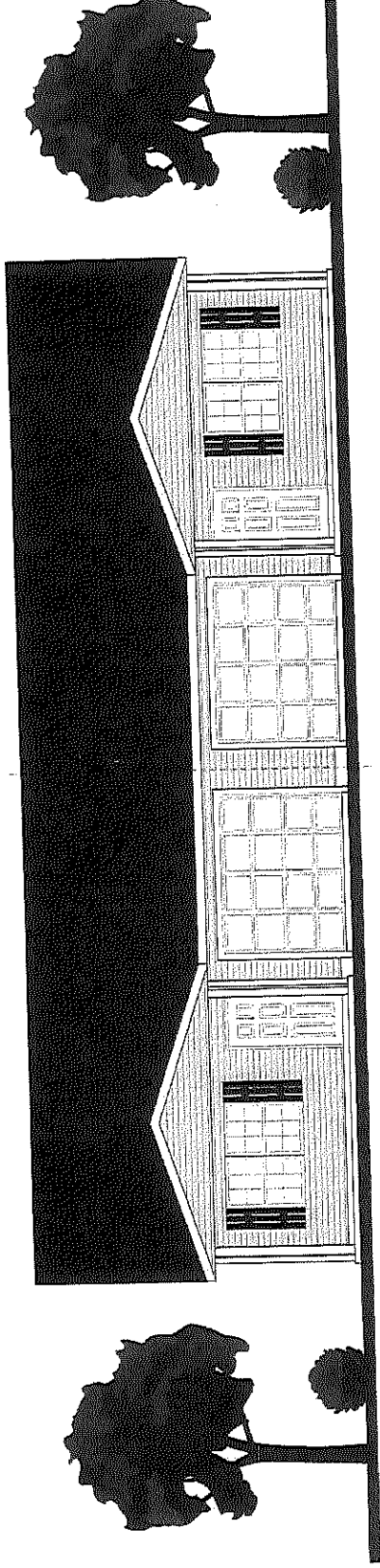
PROJECT ADDRESS	VL Engle Road	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL	ZONE	U1-A3
PARCEL #	343-13-001,013,014,015,181	BUSINESS NAME (If Applicable)	Amato Homes I, LLC	

PROPERTY OWNER NAME(S)	Amato Homes buying from TC Pinnacle Properties, LTD			<input type="checkbox"/> Will Attend Meeting
Phone #	330-590-2516	Email	franka@myamatohomes.com	
Street Address	7140 Walton Road	City	Walton Hills	Zip 44146
AGENT/CONTACT PERSON NAME(S)	Anthony Crea & Stephen Crea with Assad & Crea Realty Group			<input checked="" type="checkbox"/> Will Attend Meeting
Phone #	440-888-8181 Ext. 202/205	Email	Anthony.crea@assadcrea.com stephen.crea@assadcrea.com	
Street Address	6363 York Road, Suite 101	City	Parma Heights	Zip 44130

APPROVAL(S) REQUESTED	<input type="checkbox"/> Aesthetic / Project ²	<input checked="" type="checkbox"/> Conditional Use Permit ²	
	<input checked="" type="checkbox"/> Front Porch	<input type="checkbox"/> Billboard ¹	<input type="checkbox"/> Telecommunication Tower ¹
	<input type="checkbox"/> Re-Zone ³	<input checked="" type="checkbox"/> Lot Split ^{3,4}	<input checked="" type="checkbox"/> Lot Consolidation ^{3,4}
	<input type="checkbox"/> Other:		
<p>¹ Provide Construction Drawings and/or Structural calculations ² Provide Detailed Business Plan per City Ordinance 1121.34 ³ Provide Legal Description ⁴ Provide Lot Split / Consolidation Plat and Mylar</p>			

SUMMARY OF REQUEST	This application is for a proposed residential development located on the vacant land at the south east corner of Snow and Engle. We are proposing to build 10 separately parceled residential units that will be constructed as 5 buildings of two attached units each. After consulting with the building commissioner to accomplish this we will need a conditional use permit to allow two family structures to be built in the U1-A3 district, a lot consolidation and split, as well as approval for front porches on the proposed units as shown in the attached plans.
-----------------------	--

APPLICANT SIGNATURE		<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent	DATE	7/21/23
---------------------	--	--	------	---------



Elevation



CONTRACTOR AND ARCHITECT SHALL REVIEW
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL LOCAL, APPLICABLE CODES, ORDINANCES,
AND REGULATIONS. CONTRACTOR SHALL
PROVIDE FOR CONSTRUCTION OF ALL
UNDESIGNED PARTS CONFORMANCE WITH A
MINIMUM STANDARD OF QUALITY AND
THE BUDGET AND CONTRACT.

1305 - Duplex

Cover Sheet

Lot #:

Address:

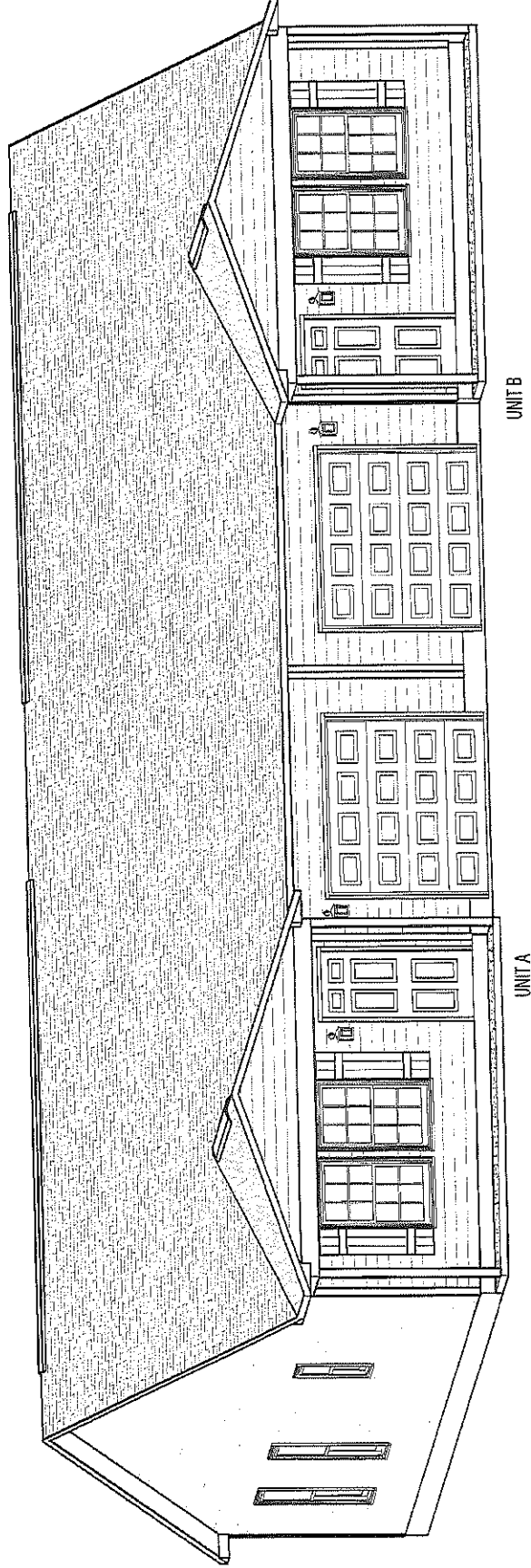
Community:

Last Revision Date:

7-17-23

Sheet #:

Pg0



UNIT B

UNIT A

① Drone - Front Elevation

Area Schedule (each unit)		
Name	Area	
Heated		
1st Floor	1305 SF	
Unheated		
Covered Porch	64 SF	
Garage	251 SF	
Under Roof	315 SF	
	1620 SF	

Sheet Number	Sheet Name
Pg0 Cover Sheet	
Pg1 Front & Rear Elevations	
Pg2 Side Elevations	
Pg3 Slab Penetrations	
Pg4 1st Floor Plan	
Pg5 Roof Plan	
Pg6 Foundation & Footing Plan	
Pg7 Details	
Pg SK 111 TR Wall Detail	



CONTRACTOR AND BUILDER SHALL REVIEW
ENTIRE PLAN TO VERIFY CONFORMANCE WITH
ALL CITY ORDINANCES AND SPECIFICATIONS.
THESE DRAWINGS ARE NOT TO BE USED FOR
ANY OTHER PROJECTS WITHOUT THE WRITTEN
CONSENT OF AMATO HOMES. THESE
DRAWINGS ARE FOR CONSTRUCTION ONLY.
UNLESS NOTED OTHERWISE, ALL MATERIALS
AND METHODS OF CONSTRUCTION SHALL BE
AS SHOWN ON THESE DRAWINGS. THE
APPLICABLE CODES OF THE JURISDICTION OF
THE BUILDING SHALL APPLY.

Front & Rear Elevations

1305 - Duplex

Lot #:

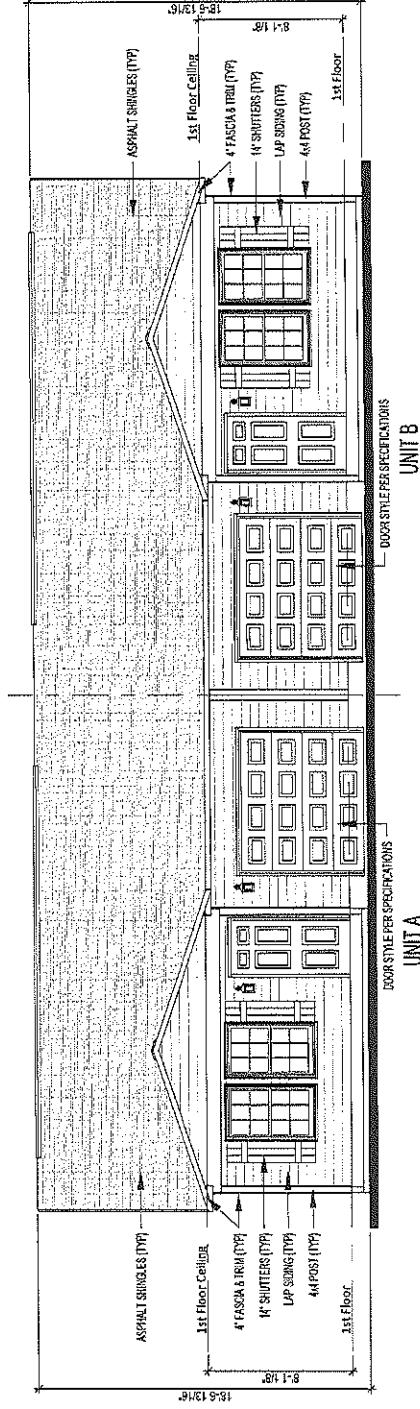
Job #:

Community:
Address:

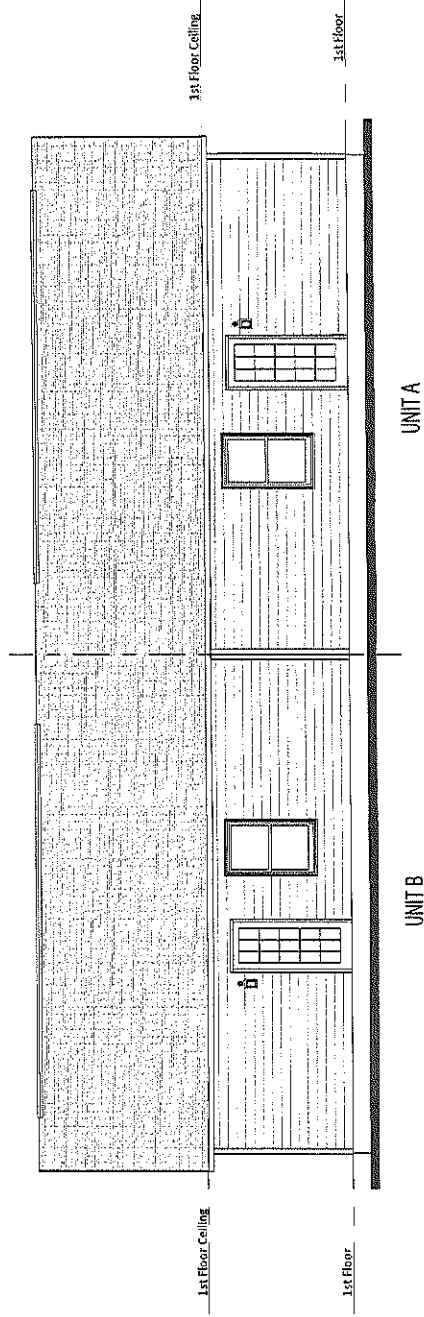
Last Revision Date:
7-17-23

Sheet #:
Pg1

2018 RESIDENTIAL OHIO CODE
ENERGY EFFICIENT COMPLIANCE - OHIA COMPLIANCE PATH #1
(SECTION 1102 - INCLUDING ALL MANDATORY ITEMS)
• CEILING - R 49
• EXTERIOR SHEATHING - R 15
• FLOOR OVER UNHEATED SPACES - R 30
• FOUNDATION WALLS - R 10 minimum 4 FT. DOWN (ALL WALLS)
• WINDOW U VALUE



① Front Elevations
1/8" = 1'-0"



② Rear Elevations
1/8" = 1'-0"



CONTRACTOR AND JUDGE SHALL REVIEW
ENTER PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF PERMITTING. CONTRACTOR SHALL
MAINTAIN RECORDS OF ALL PERMITS AND
UNDERSTOOD THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE BUILDER AND CONTRACTOR.

1305 - Duplex Side Elevations

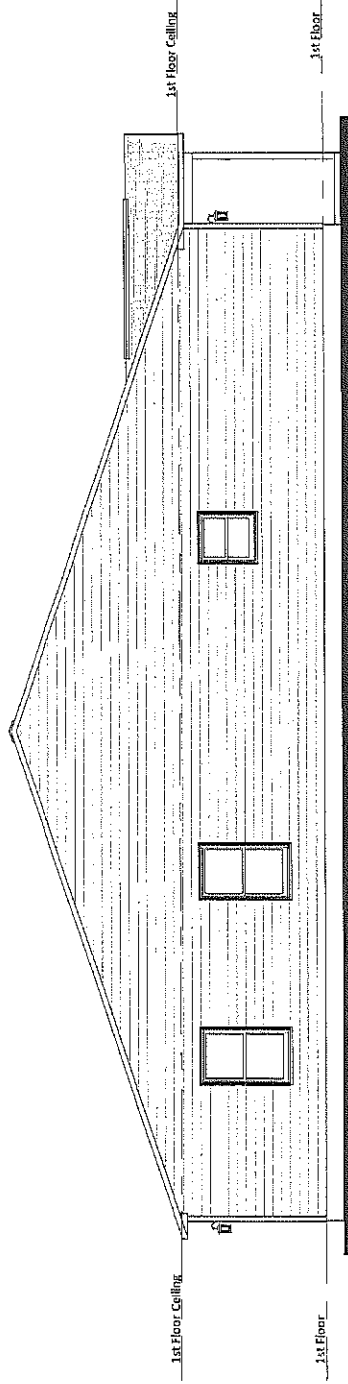
Job #:

Address:

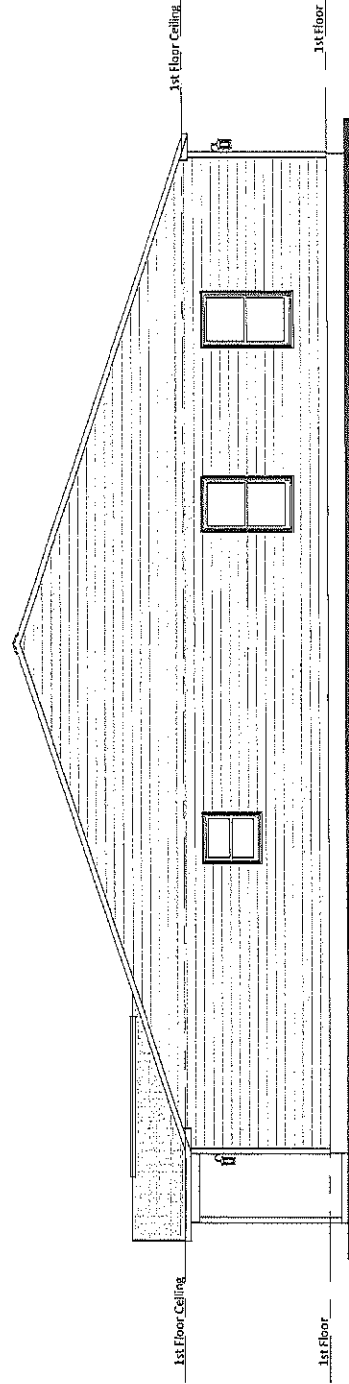
Community:

Last Revision Date:
7-17-23

Sheet #:
Pg2



① Left Elevation - Unit A
1/8" = 1'-0"



② Right Elevation - Unit B
1/8" = 1'-0"



CONTRACTOR AND BUYER SHALL REVIEW THIS PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE PLANS, THE BUYER AGREES TO HOLD AMATO HOMES HARMLESS FROM ANY AND ALL LITIGATION, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE BUYER OR CONTRACTOR.

1305 - Duplex Slab Penetrations

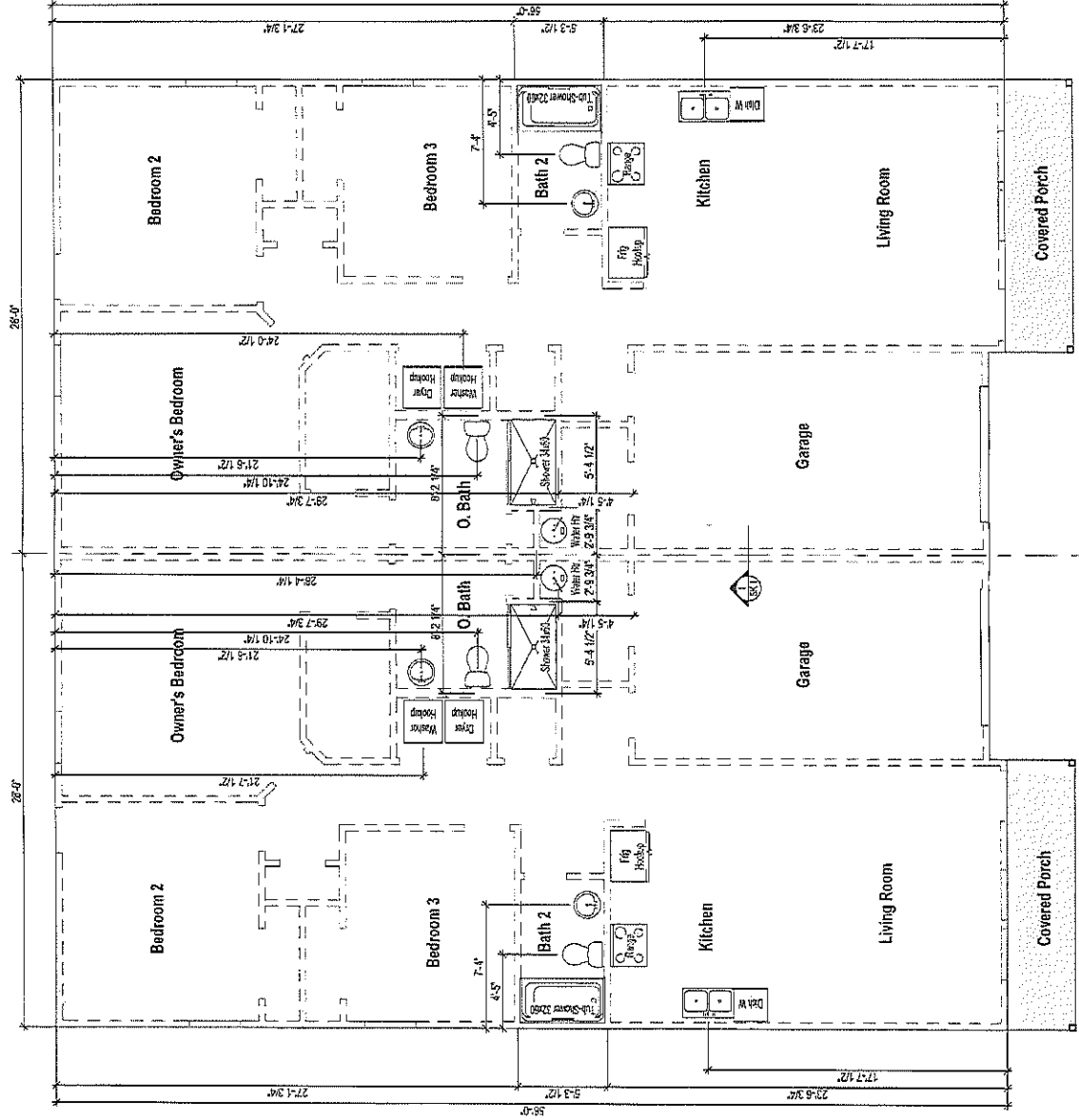
Lot #:

Address:

Community:

Last Revision Date:
7-17-23

Sheet #:
Pg3



1 Slab Penetrations
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL VERIFY ALL INFORMATION AND CONDITIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

1305 - Duplex Roof Plan

Lot #:

Address:

Community:

Last Revision Date:

7-17-23

Sheet #:

Pg5

Attic Ventilation Calcs (each unit) 1/300 (sq.in.)

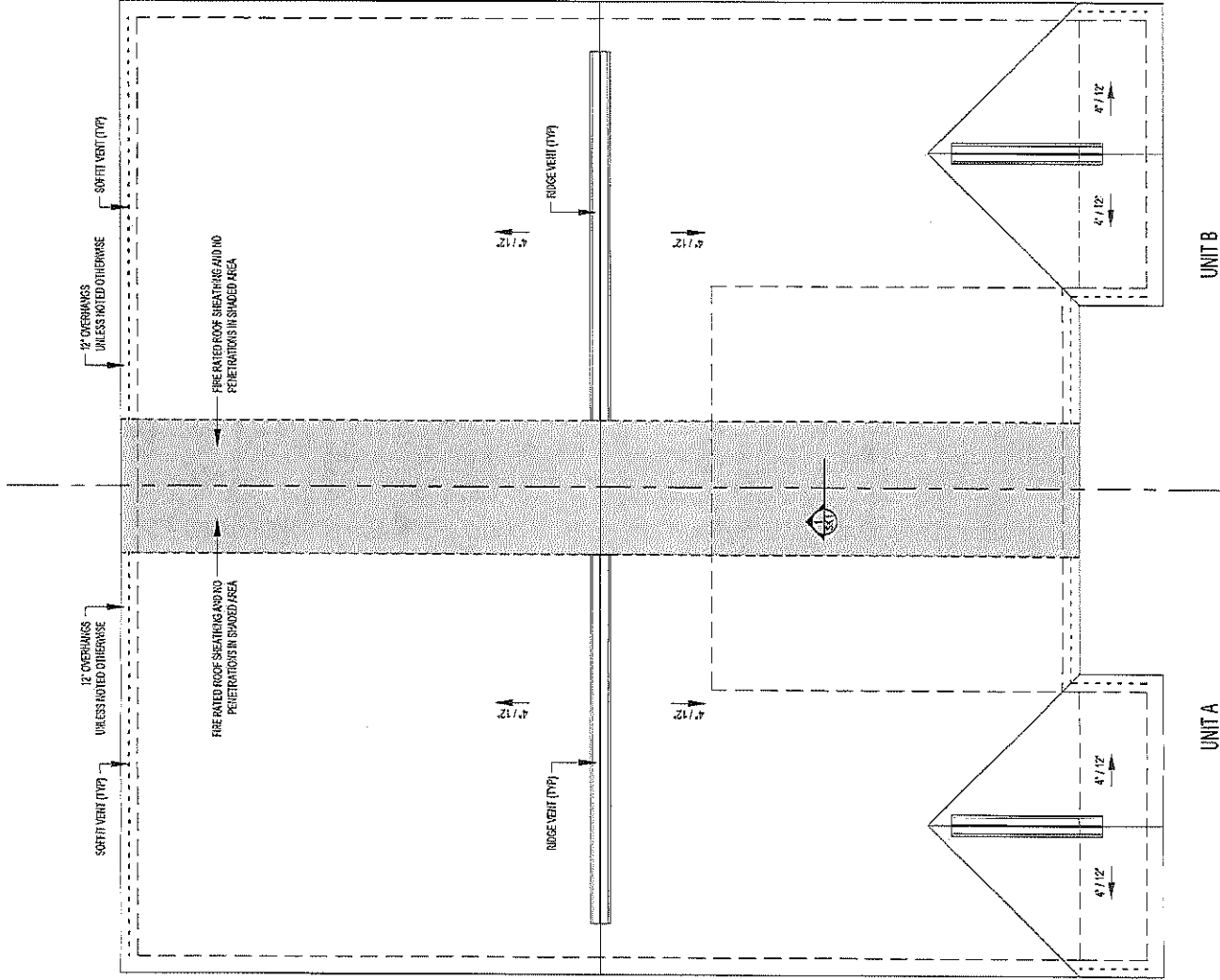
Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (in.ft.)	Roof Vents (sq.)	Soffit Vents (sq.ft.)
Main Roof	1558 SF	747	508	373	465	288	753	31	0	48

Calcs Based on the Following Values:

• Ridge Vents = 15 sq. in. per linear foot

• Roof Vents = 50 sq. in. of net free area per unit

• Soffit Vents = 6 sq. in. of net free area per square foot



1 Roof Plans
1/8" = 1'-0"



CONTRACTOR AND END USER SHALL REVIEW
THIS PLAN TO VERIFY CONFORMANCE WITH
ALL CURRENT APPLICABLE CODES IN EFFECT AT
TIME OF CONSTRUCTION. BY USING THESE
PLANS, THE END USER AGREES TO HOLD
UNASSIGNED THAT CONFORMANCE WITH ALL
APPLICABLE CODES IS THE RESPONSIBILITY OF
THE END USER AND CONTRACTOR.

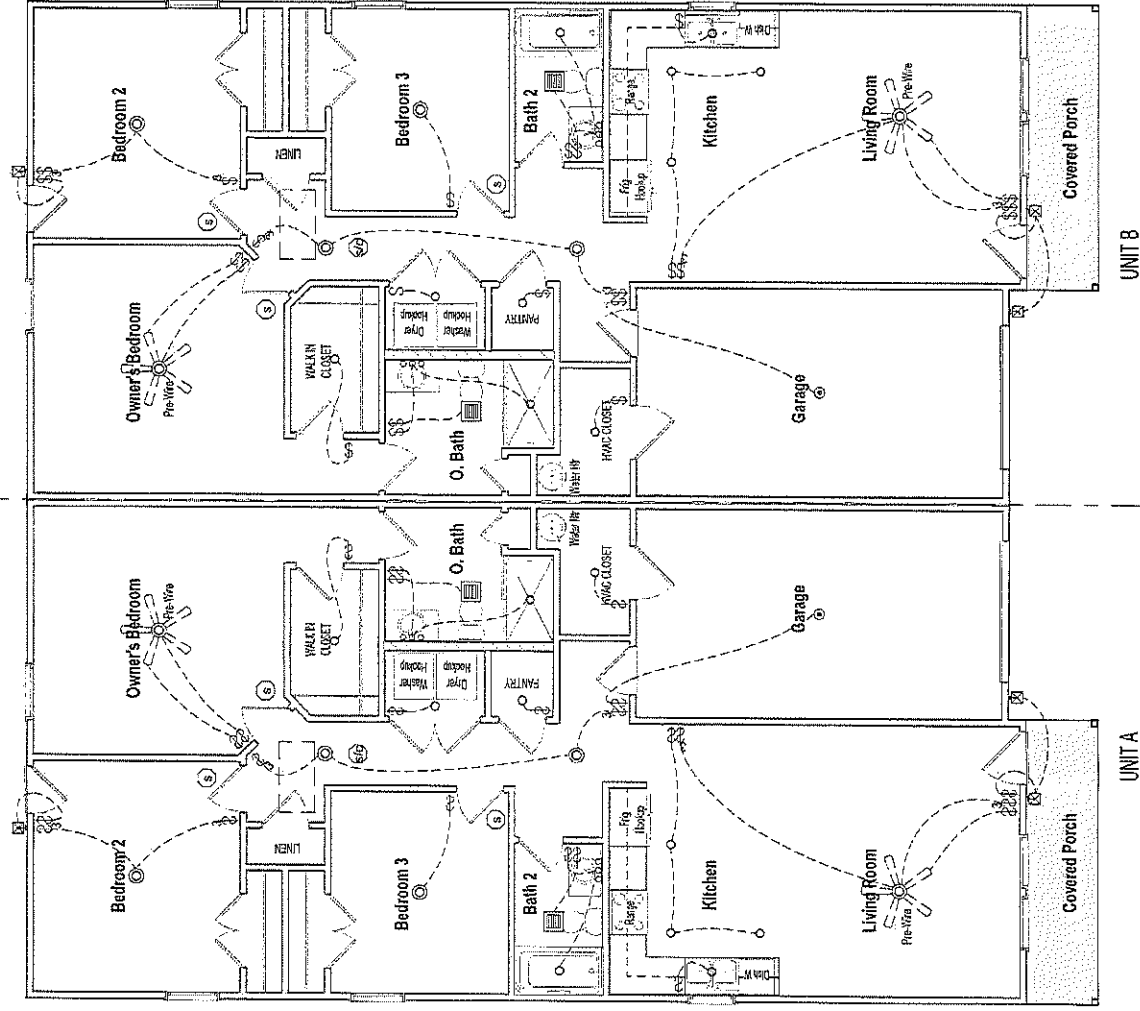
1305 - Duplex Electrical & Flooring Plan

Lot #:

Job #:
Address:
Community:

Last Revision Date:
7-17-23

Sheet #:
Pg6



1 1st Floor Electrical
1/8" = 1'-0"

ELECTRICAL LEGEND					
WALL MOUNTED FEATURES			CEILING MOUNTED FEATURES		
OUTLET - 1W	TV	OUTLET - TV	CHARGE DOOR OPENER/REVERSE	KEYLESS	SMOKE DETECTOR
OUTLET - 1W GFCI/AFBI INTERFERER	OUTLET - PHONE	OUTLET - PHONE	1' LIGHT FIX	FLUSH MOUNT	SMOKE DETECTOR/CO2
OUTLET - 1W GROUND FAULT INTERUPTER WATER PROOF	SWITCH - 3 WAY	SWITCH - 3 WAY	CORNER LIGHT - FRONT DOOR	SURFACE MOUNT	BATHROOM EXHAUST FAN
OUTLET - 2W	SWITCH - 4 WAY	SWITCH - 4 WAY	CORNER LIGHT - REAR DOOR	FLUSH MOUNT VENT/EXHAUST	FLUORESCENT 4-2 LAMP'S FLUORESCENT 2-1 LAMP

Outlets shown on the electrical layout are in addition to the outlets that shall be provided in accordance with
International Residential Code Sections E3901.1.2 through E3901.1.11.



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ALL CURRENT APPLICABLE CODES AND EFFECT AT
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UNDERSTANDING THAT COMPLIANCE WITH ALL
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1305 - Duplex

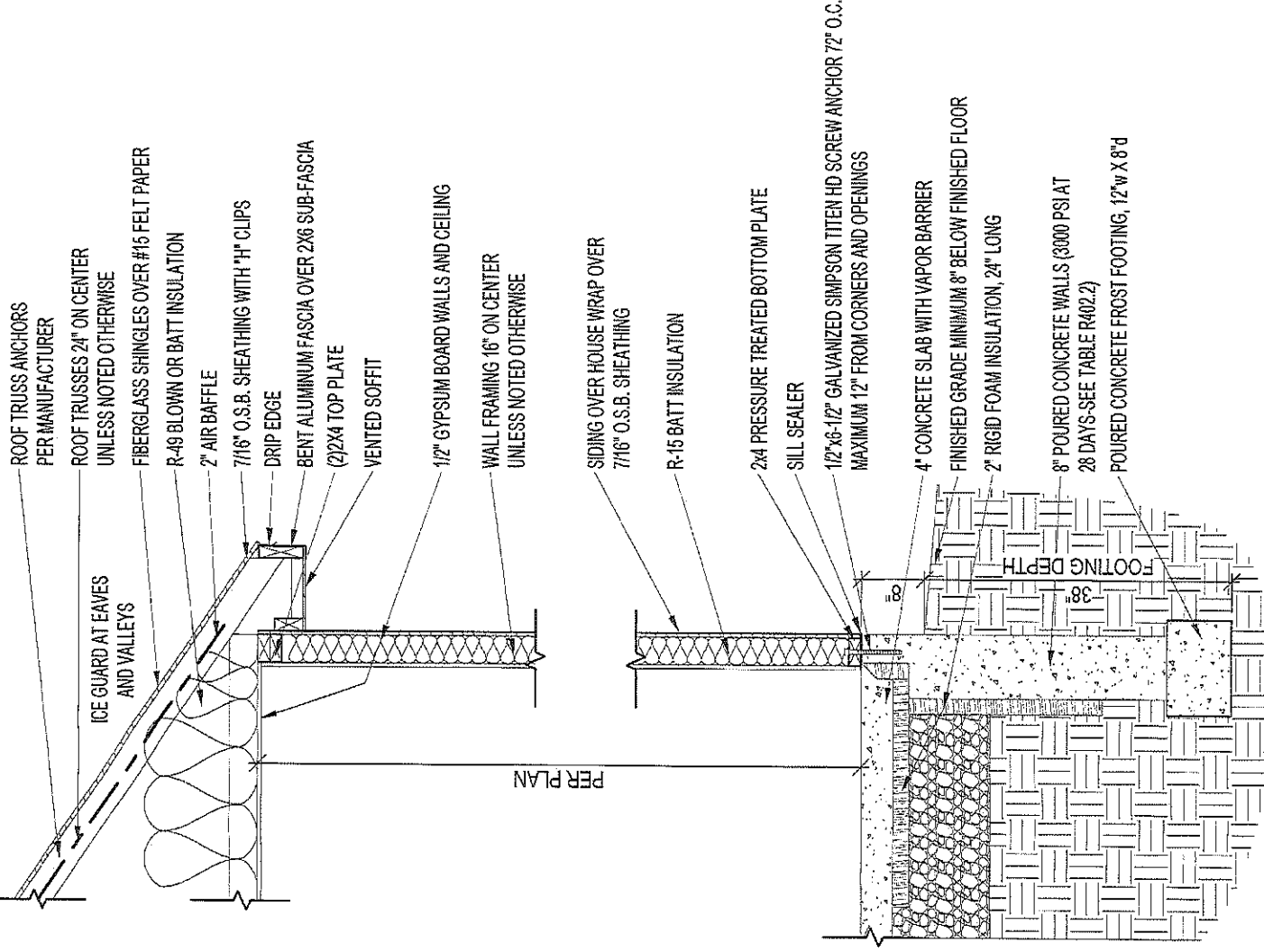
Details

Lot #:

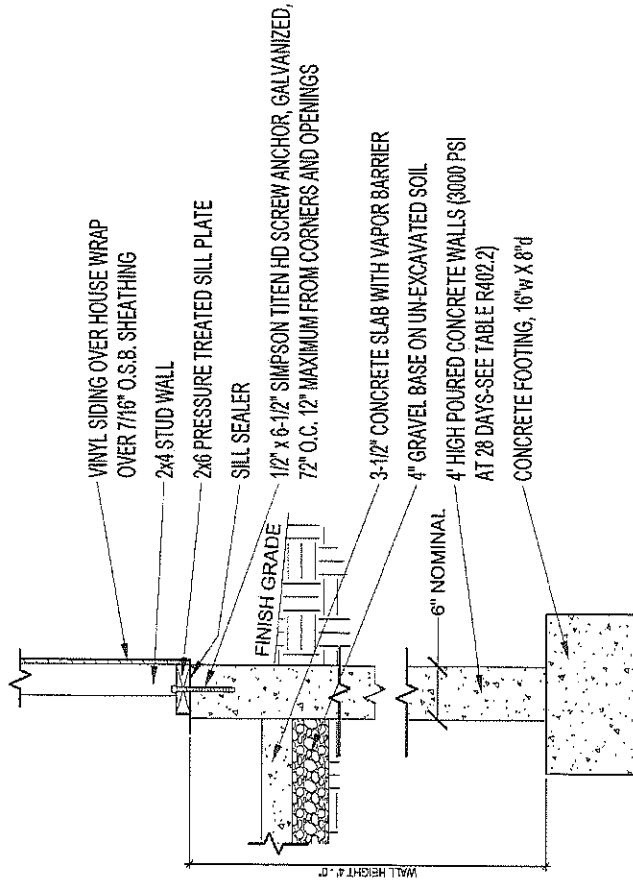
Job #:
Address:
Community:

Last Revision Date:
7-17-23

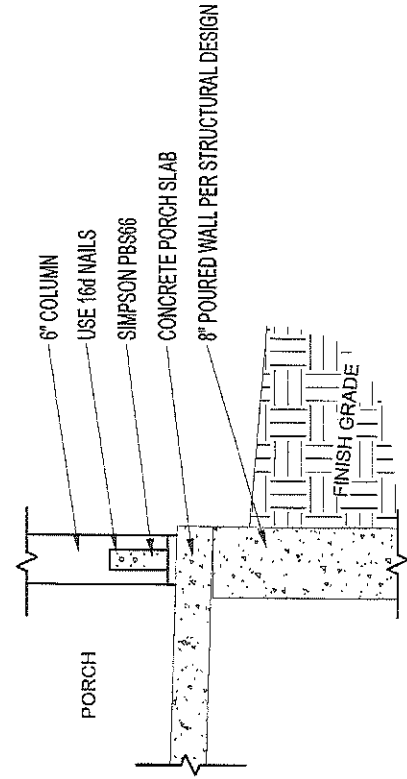
Sheet #:
Pg D 1



1 Typical Wall Section Slab - 1st story
3/4\" = 1'-0"



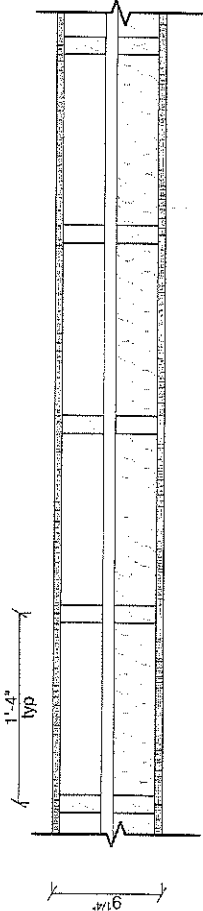
2 Garage Wall Section
3/4\" = 1'-0"



3 Porch Column Detail
3/4\" = 1'-0"

Design No. GA WP 3370

FIRE RATING: 1 HOUR
STC RATING: 53
SOUND TEST: USG-171021
LOCATION: INTERIOR
FRAMING TYPE: WOOD STUDS



Design No. GA WP 3370

- ASSEMBLY REQUIREMENTS:
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RWS Architectural
Consulting
5365 W Loveland Rd, Madison,
OH 44057
(216) 401-1830
rwshearer@gmail.com

Drawings and Specifications are instruments of service and are specific and exclusive to this project.
The General Contractor is responsible for confirming and coordinating dimensions at the project site. The Architect is not responsible for construction methods, techniques, sequencing, or procedures, or for safety precautions and programs in connection with the project.
© RWS Architectural Consulting, LLC



ROBERT W. SHEARER
OHIO ARCHITECT #13307
LICENSE EXPIRES 12/31/22

Revisions:		Date printed:	5/1/23
MARK	DATE	ISSUED FOR	

Client: Amato Homes 6058809 BELLE COURT		Project Name: Amato Homes
Drawing: 1 HR Wall Detail		
Scale: 1" = 1'-0"		
#Project Status		
Sheet Number: SK.1		
Sheet Size: 11" x 17"		

MEMO

TO: Jason Monaco, Building Commissioner

FROM: Edward R. Piatak, P.E., Consulting City Engineer

DATE: July 29, 2023

SUBJECT: VL Engle Road (Residential Development) – Planning Commission

CC:

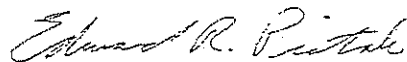
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Please advise me if you have any questions or require additional information.

EUTHENICS, INC.



Edward R. Piatak, P.E.
Consulting City Engineer

F:\Jobs\187\Misc-Plans\2023 Plan Reviews\01 Planning Commission\08 August\VL Engle Rd - Residential Dev\Monaco Memo - 07 29 2023.docx

Building Department Notes

Planning Commission Meeting 8/7/23

VL Engle Rd. – Parcel #'s 343-13-001, 013, 014, 015, 181. – summary of request(s) – The applicant is proposing to consolidate 5 lots and then split them into 10 equally proportioned lots for the purpose of building 5, two family homes on them. The County is requesting each unit sit on its own parcel. The following approvals are being requested from the Planning Commission.

- A. A Conditional Use Permit is needed to construct a 2 family house in the U1-A3 district. Ord. 1121.04 states that only single family homes can be built in a U1 district.
- B. Approval for the consolidation of 5 lots into one parcel and the splitting of that parcel into 10 proportioned lots for the construction of 5 two family residences is being requested.
- C. Aesthetic approval is being requested for 10 front porches of the proposed new construction 2 family homes on Engle Rd. by Amato Homes. Ord. 1348.01 states that all front porches shall receive Planning Commission approval prior to construction.

1121.04 LISTING OF PERMITTED USES FOR EACH USE DISTRICT.

For the purposes of this Zoning Ordinance, the various permitted uses of buildings and premises within and for each of the Use Districts are divided into groups, classes and subdivisions, and are hereby adopted for each Use District as follows:

(a) Class U-1 Uses - Single-Family House District:

- (1) Single-family dwellings.

1348.01 FRONT PORCHES.

(1) Planning Commission approval. All construction plans for front porches must come before the Planning Commission for aesthetic approval prior to receiving a permit.

MEMO

TO:	Clerk of Council - Carol Johnson
CC:	Mayor Edward A. Orcutt Law Director Carol Horvath Council President Mike Vecchio Councilman Tom Troyer Councilman Jim Mencini Councilman - Steve Roberts Councilman - Rich Scott Council at Large - Rick Salvatore Council at Large - Brain Poindexter Council at Large - Nora Coyne w/out Enclosures
FROM:	Carol Dell, Secretary BZA & Planning Commission Secretary
DATE:	August 16, 2023
RE:	Planning Commission Recommendation

The Brook Park Planning Commission met on August 7, 2023, regarding approval for a lot split. By a vote of 6-0, the Planning Commission voted to recommend approval of the proposed lot split, for the following:

Request approval for a 1.283 acres lot split, labeled Parcel B-1 (survey provided) at 14801 Holland Road (North Park Retirement Community) for the purpose of licensing and converting the structure located on the proposed lot to an assisted living facility | Located in the U1-A5 Zoning District | Ordinance 1101.09

Planning Commission's recommendation for this project must be forwarded to City Council for final action

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.

See Attached Engineer's Comments & 2023 Planning Commission Application.

If additional information is required, please feel free to contact me.

AGENT INFORMATION:

Agent: Chuck Calabrese
E-Mail: ccalabrese@sovereignhealthcare.com
Office: 2156/302-2719
Property Owner: John Coury

Thank you,
Carol Dell
Secretary, City of Brook Park Planning Commission
Building Department
Office: 216/433-7412
E-Mail: cdell@cityofbrookpark.com



BROOK PARK PLANNING COMMISSION

The Brook Park Planning Commission met on August 7, 2023 regarding approval for a lot split. By a vote of 6-0, the Planning Commission voted to recommend approval of the proposed lot split for the following:

Request approval for a 1.283 acres lot split, labeled Parcel B-1 (survey provided) at 14801 Holland Road (North Park Retirement Community) for the purpose of licensing and converting the structure located on the proposed lot to an assisted living facility | Located in the U1-A5 Zoning District | Ordinance 1101.09

The Planning Commission herein submits its recommendation to City Council that they, by Resolution prepared and approved by the Law Department, Affirm or Deny the Vote of the Planning Commission at the next regularly scheduled meeting.

Secretary, Planning Commission

Date



CITY OF BROOK PARK

BUILDING DEPARTMENT | 5590 Smith Road | Brook Park | Ohio | 44142

| Email | buildingdept@cityofbrookpark.com
| Office | 216.433.7412

2023 PLANNING COMMISSION APPLICATION

PROJECT ADDRESS	14301 Holland Road, Brook Park OH 44142	<input type="checkbox"/> RESIDENTIAL	<input checked="" type="checkbox"/> COMMERCIAL	ZONE	
PARCEL #	344-21-002	BUSINESS NAME (If Applicable)	North Park Retirement		

PROPERTY OWNER NAME(S)	John Coury				<input checked="" type="checkbox"/> Will Attend Meeting
Phone #	(216) 803-1995	Email	jcoury@sovereignhealthcare.com		
Street Address	14801 Holland Road	City	Brook Park	Zip	44142
AGENT/CONTACT PERSON NAME(S)	Chuck Calabrese				<input type="checkbox"/> Will Attend Meeting
Phone #	(216) 302-2719	Email	ccalabrese@sovereignhealthcare.com		
Street Address	14801 Holland Road	City	Brook Park	Zip	44142

APPROVAL(S) REQUESTED	<input type="checkbox"/> Aesthetic / Project ²	<input type="checkbox"/> Conditional Use Permit ²	
	<input type="checkbox"/> Front Porch	<input type="checkbox"/> Billboard ¹	<input type="checkbox"/> Telecommunication Tower ¹
	<input type="checkbox"/> Re-Zone ³	<input checked="" type="checkbox"/> Lot Split ^{3,4}	<input type="checkbox"/> Lot Consolidation ^{3,4}
	<input type="checkbox"/> Other:		
	¹ Provide Construction Drawings and/or Structural calculations ² Provide Detailed Business Plan per City Ordinance 1121.34 ³ Provide Legal Description ⁴ Provide Lot Split / Consolidation Plat and Mylar		
SUMMARY OF REQUEST	North Park is proposing a lot split for financing purposes for the northern most building on the property which we call Windsor House, with an address of 1 N. Park Circle, Brook Park OH 44142. North Park has completed a survey of the property and has obtained a Mylar with an accompanying legal description.		

APPLICANT SIGNATURE		<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent	DATE	06/22/2023
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File No. 23-018
February 23, 2023

LEGAL DESCRIPTION
Parcel "B1"
Brook Park, OH

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, part of Original Middleburg Township Lot 5, Section 2, and being Block "B" in Brookpark Acres Subdivision No. 1 as recorded in Plat Volume 173, Page 38 of Cuyahoga County Map Records, and being part of Parcel "B" of the Lot Split for North Park Retirement Community Center, Inc. as recorded in Plat Volume 351, Page 53 of the Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by the Bonaventure Properties LLC as recorded in AFN 202112300952 of Cuyahoga County Deed Records, now being further known as **Parcel "B1"** in the Map of Lot Split for 14801 Holland Road as recorded in AFN _____ of Cuyahoga County Map Records, containing **1.2828 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in February 2023 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 23-018.



File No. 23-018
February 23, 2023

LEGAL DESCRIPTION
Parcel "B2"
Brook Park, OH

Situated in the City of Cleveland, County of Cuyahoga, State of Ohio, part of Original Middleburg Township Lot 5, Section 2, and being Block "B" in Brookpark Acres Subdivision No. 1 as recorded in Plat Volume 173, Page 38 of Cuyahoga County Map Records, and being part of Parcel "B" of the Lot Split for North Park Retirement Community Center, Inc. as recorded in Plat Volume 351, Page 53 of the Cuyahoga County Map Records, and part of a parcel of land now or formerly owned by the Bonaventure Properties LLC as recorded in AFN 202112300952 of Cuyahoga County Deed Records, now being further known as **Parcel "B2"** in the Map of Lot Split for 14801 Holland Road as recorded in AFN _____ of Cuyahoga County Map Records, containing **6.8362 acres**, more or less, but subject to all highways, covenants, and easements of legal record as surveyed in February 2023 by Matthew A. Hildebrandt, Registered Professional Land Surveyor No. 8817 on behalf of **McSteen Land Surveyors** under Project No. 23-018.

MEMO

TO: Jason Monaco, Building Commissioner

FROM: Edward R. Piatak, P.E., Consulting City Engineer

DATE: July 28, 2023

SUBJECT: 14801 Holland Road – North Park (Lot Split) – Planning Commission

CC:

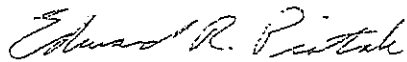
Mr. Monaco:

I have reviewed the Planning Commission Application submitted Mr. John Coury for the proposed Lot Split located at 14801 Holland Road (North Park Retirement Community) dated June 22, 2023 and offer the following comments/questions:

1. Does the residual Parcel B-2 have adequate/legal frontage to a public road?
2. Provide an update on the status of the "Grant of Access and Utility Easement and Restrictive Covenant" being formally recorded at the County.
3. The parcels are becoming very irregular in shape. Can the City require a Parcel Consolidation if the current use changes?

Please advise me if you have any questions or require additional information.

EUTHENICS, INC.



Edward R. Piatak, P.E.
Consulting City Engineer

Building Department Notes
Planning Commission Meeting 8/7/23

14801 Holland Rd. Parcel #344-21-002 – summary of request- This request is for a lot split with frontage on Holland Rd. and a size of 1.2828 acres at the above mentioned address. This was previously approved on 8/5/2019 but the time limit has expired. Ord. 1101.09 states that the Planning Commission approval expires after 60 days if no action is taken on the part of the applicant.

1101.09 TIME LIMITATIONS ON COMMISSION APPROVALS.

(a) After any project is approved by the Planning Commission, the person applying for such approval shall commence with construction not more than nine months after said approval or such approval shall be deemed revoked by the Commission.

(b) All persons granted approval on projects by the Planning Commission shall apply for a permit with the Building Commissioner within 60 days of said approval; any person who has not applied for said permit shall have said approval revoked and may return to the Planning Commission for re-approval.